

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Longhorn Transport Pty Ltd.
Contact name (only applicable for companies)	Kym + Graham Johnson
Postal address (PO Box or street address)	PO Box 103
Suburb	Tambo
State	QLD
Postcode	4478
Country	Australia
Contact number	0429979557
Email address (non-mandatory)	kymandgidgee@bigpond.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

2.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).



Queensland
Government

Unit No.	Street No.	Street Name and Type	Suburb
	LOT 17	Davidson Road	Tambo
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4478	17	SP14 8104	Tambo

2.2) Additional premises

Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the DA Forms Guide

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

Yes – proceed to 8)

No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

Yes – a copy of the decision notice is attached to this development application

The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached

No

7) Information request under Part 3 of the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the DA Forms Guide.

8) Are there any associated development applications or current approvals?

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

Yes – a copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached

No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

Yes – the Referral checklist for building work is attached to this development application

No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

Yes – referral response(s) received and listed below are attached to this development application

No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	
State	

Postcode	
Country	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) (individual or company full name)	Andrew Russell
Contact name (applicable for companies)	
QBCC licence or owner – builder number	1246385
Postal address (P.O. Box or street address)	
Suburb	Blackall
State	Qld
Postcode	4472
Contact number	0439725652
Email address (non-mandatory)	aprusell@gmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

16) Provide details about the proposed building work

What type of approval is being sought?

Development permit
 Preliminary approval

b) What is the level of assessment?

Code assessment
 Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

New building or structure
 Change of building classification (involving building work)
 Demolition

Repairs, alterations or additions
 Swimming pool and/or pool fence
 Relocation or removal

d) Provide a description of the work below or in an attached schedule.

Truck Shed

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input checked="" type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

f) Existing building use/classification? (if applicable)

Industrial

g) New building use/classification? (if applicable)

h) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?

\$ 38360

18) Has Queensland Home Warranty Scheme Insurance been paid?

Yes – provide details below

No details will be provided when paid

Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

The relevant parts of *Form 2 – Building work details* have been completed Yes

This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed *Form 1 – Development application details* Yes
 Not applicable

Relevant plans of the development are attached to this development application
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#). Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9) Yes
 Not applicable

20) Applicant declaration

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government			
Confirm proposed construction materials:			
External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date received form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m ²)		Floor area (m ²)	



This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.


Additional explanatory information is included in the Appendix at the end of this form.

<p>1. Property description</p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include number, street, suburb/locality and postcode)</p> <p>LOT 17 DAVIDSON RD TAMBO State QW Postcode 4078</p> <p>Lot and plan details (attach list if necessary)</p> <p>Local government area the land is situated in</p>																					
<p>2. Description of aspect/s certified</p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>12m SPAN x 27m LONG x 5.1m EAVE OPEN BUNDLED STEEL SHEET FRAMING CONNECTIONS FOUNDATION PILES ONLY SITE REGION A TERRAIN CAT 2.0</p>																					
<p>3. Basis of certification</p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>	<table border="0"> <tr> <td>AS 1170.0 - 2002</td> <td>AS 4100 - 2020</td> <td>AS 3623 - 10073</td> </tr> <tr> <td>AS 1170.1 - 2002</td> <td>AS 4600 - 2018</td> <td>AS 12007 - 2014</td> </tr> <tr> <td>AS 1170.2 - 2021</td> <td>AS 1562 - 1 - 2018</td> <td>AS 37100 - 2018</td> </tr> <tr> <td>AS 1170.3 - 2003</td> <td>AS 4678 - 2002</td> <td>AS 4773 - 2015</td> </tr> <tr> <td>AS 1170.4 - 2007</td> <td>AS 1684 - 2020</td> <td>AS 3300.1,2,3 - 2021</td> </tr> <tr> <td>AS 3600 - 2018</td> <td>AS 1770.1 - 2010</td> <td></td> </tr> <tr> <td>AS 2870 - 2011</td> <td>AS 4055 - 2012</td> <td>BCA/NCC 2022</td> </tr> </table>	AS 1170.0 - 2002	AS 4100 - 2020	AS 3623 - 10073	AS 1170.1 - 2002	AS 4600 - 2018	AS 12007 - 2014	AS 1170.2 - 2021	AS 1562 - 1 - 2018	AS 37100 - 2018	AS 1170.3 - 2003	AS 4678 - 2002	AS 4773 - 2015	AS 1170.4 - 2007	AS 1684 - 2020	AS 3300.1,2,3 - 2021	AS 3600 - 2018	AS 1770.1 - 2010		AS 2870 - 2011	AS 4055 - 2012	BCA/NCC 2022
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AS 2870 - 2011	AS 4055 - 2012	BCA/NCC 2022																				

<p>4. Reference documentation</p> <p>Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p>ATTACHED PLANS & DETAILS</p> <p>34744-15 SHEETS DATED 10-6-23</p>
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<p>5. Building certifier reference number and building development application number</p>	<p>Building certifier reference number</p> <p>.....</p> <p>Building development application number (if available)</p> <p>.....</p>
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<p>6. Appointed competent person details</p> <p>Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.</p>	<p>Name (in full) GEORGE ZUEV</p> <hr/> <p>Company name (if applicable) TECHIBUILD CONSULTING</p> <p>Contact person GEORGE ZUEV</p> <hr/> <p>Business phone number 0264 0736061</p> <p>Mobile number 0610 0739301</p> <hr/> <p>Email address HIGHPR@BIGEND.NET.AU</p> <hr/> <p>Postal address PO BOX 5020</p> <p>COBARRGO NSW State NSW Postcode 2350</p> <hr/> <p>Licence class or registration type (if applicable) REGISTERED PROFESSIONAL ENGINEER</p> <hr/> <p>Licence or registration number (if applicable) 2482 7551</p>
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<p>7. Signature of appointed competent person</p> <p>This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.</p>	<p>Signature</p>  <p>Date 23 JUN 2023</p>
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LOCAL GOVERNMENT USE ONLY

Date received		Reference number/s	
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Appendix – explanatory information

IMPORTANT NOTE: It is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

Who can complete this certificate? (sections 10 of the *Building Act 1975* (Building Act) and 73 of Building Regulation 2021 (BR 2021))
A building certifier can accept from a competent person (design – specifications) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

For a competent person to meet the regulation requirements (section 77 of the BR 2021) they must substantially complete all sections of this form, including information, such as the design of a particular material, system, method of building or that a building element complies with the Building Code of Australia or a provision of the Queensland Development Code. It is also important that the details of the relevant reference documents are included, for example, the applicable Australian Standards or other technical provisions that may be applicable to the subject work.

What is the purpose of this form? (section 10 of the *Building Act 1975*)

The information in this form informs the building certifier's decision making when they are assessing a building development application and issuing the building development approval for the building work the subject of the certificate (form).

When is this form not required?

The assessment of some building applications will be entirely within the expertise of the relevant building certifier and therefore they may not seek the help of a competent person. In these instances, this form is not required.

Is a manufacturer or supplier required under the BR 2021 to complete and sign this Form 15, if requested?

No. A manufacturer or supplier of building materials is not required to complete and give this form or any aspect and inspection certificates if requested by a construction contractor, builder, appointed competent person, or a building certifier.

However, a manufacturer or supplier may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a manufacturer's statement for an aspect or material that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

What if there is not enough space for all the supporting material/documents?

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is also available in a Microsoft Word version, that you can download and edit to include additional material in the relevant parts of the form. Note that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

Appointed competent person (design or specification) – (sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of inspection help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day. The building certifier can also decide an individual is a competent person (design-specification) and a competent person (inspection) at the same time or for the same systems or components of the work.

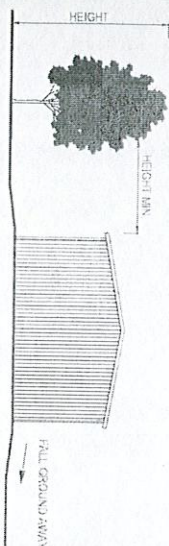
For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

PRIVACY NOTICE

The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.

GENERAL NOTES

- G1. Do not scale drawings. Written dimensions shall have precedence over scaled drawings. Dimensions, conditions and levels to be verified on site, report any discrepancies to the applicable building designer(s).
- G2. All new construction work and the installation of services must comply with the Building Code of Australia, relevant Australian Standards, relevant codes and manuals, local municipal by-laws and requirements of the relevant authorities.
- G3. This building design should be reviewed by an appropriately qualified person with regards to the relevant Occupations Health & Safety Act in your state.
- G4. Moisture or Moisture Retaining materials should not be permitted to remain in intimate contact with Zincalume or Galvalume Steel (roof & wall sheeting). Such contact will ultimately result in perforation (rust) of the material.
- G5. Clay soil will swell and shrink with variations in moisture content. This movement may cause damage to the building. In order to minimise the damage we recommend the following precautions are taken:
- Provide adequate site drainage to ensure water will not pond against or near the building.
 - Grade the site within 2.0m of the building away from building to ensure that water will not pond near the building.
 - Maintain sewerage, stormwater and other drainage systems so that leakages will not occur. If they do occur they should be repaired promptly.
 - Grass and shrubs should not be planted or allowed to exist, closer than 0.75 times their mature height to the building. Avoid establishing garden beds next to the building. Sanders and layers should be watered adequately but not excessively. Uniform, consistent watering can be important to prevent damage to the foundations during dry spells or drought.



Signature: Mr George Zuev
 MIAUST OPENING NER
 Registered on the NER in the area(s) of practice of Civil Engineering

Date: 23 JUN 2023

National Engineering Register
 ENGINEERS AUSTRALIA

CONCRETE

- C1. All workmanship and materials shall be in accordance with AS 3600 current editions with amendments, except where varied by the contract documents.

C2. Concrete Characteristics

ELEMENT	STRENGTH FC	SLUMP	MAX AGG. SIZE
Piers	25 MPa	80mm ± 15	20 mm
Fooldings	25 MPa	80mm ± 15	20 mm

- C3. Cover to reinforcement shall be obtained by the use of approved bar chairs. All bar chairs to be spaced at 1000cmm maximum. Cover shall not be less than the size of the aggregate or the main bars.

Concrete Cover

Piers	= 50mm U.N.O.
Fooldings	= 50mm U.N.O.
Slip Fooldings	= 50mm U.N.O.

- C4. Sizes of concrete elements do not include thickness of applied finish.

- C5. No holes, chases or embedment of pipes other than those shown on the structural drawings shall be made in concrete members without the approval of the Engineer.

- C6. Construction joints shall be properly formed and located only where shown or specifically approved by the Engineer.

- C7. Reinforcement is represented diagrammatically. It is not necessarily shown in true projection.

- C8. Splices in reinforcement shall be made only in the positions shown, unless the approval of the engineer is obtained for any other splice.

- C9. Welding of reinforcement will not be permitted unless noted on the structural drawings.

- C10. Pipes or conduits shall not be placed within the cover to reinforcement without the approval of the Engineer.

- C11. Reinforcement to be supplied and bent in accordance with AS 1302, AS 1303 & AS 1304 current editions and amendments. Reinforcement is denoted by the following symbols:

R	denotes structural grade round bars grade 250
N	denotes hot rolled deformed
SL	denotes hard drawn steel wire square fabric
RL	denotes hard drawn steel wire rectangular fabric
L	denotes hard drawn steel wire tendon mesh

- C12. All reinforcement for any one pour shall be completely placed and tied prior to inspection. No concrete shall be poured until reinforcement has been inspected and approved.

- C13. Foundations to be cast with a naturally compacted subgrade or approved compacted fill compaction to be to a minimum of 95% standard dry density to AS 1289, E1.1.

- C14. All concrete shall be properly compacted by means of approved vibrators.

- C15. Where walls are non-head bearing at either horizontal or vertical faces they shall be separated from concrete or brickwork by 10mm thick bituminous damle or similar.

- C16. Concrete shall be separated from supporting masonry by two layers of suitable membrane or as directed by the Engineer. Vertical faces of concrete to be kept free by a 10mm thickness bituminous damle or similar.

STRUCTURAL STEELWORK

- S1. All workmanship and materials shall be in accordance with AS 4
- S2. Unless noted otherwise all steel shall be in accordance with:
- AS 3678 and AS 3679 Grade 300 hot rolled sections
 - AS 1163 Grade 350 for square hollow sections
 - AS 1074 Grade 200 for circular hollow sections
 - AS 133V Grade 450 for cold formed light gauge sections

- S3. The contractor shall provide temporary bracing as necessary erector and leave in place until permanent bracing elements are completed.

- S4. Welding if required shall be in accordance with AS 1554 and operator.

- S5. Welds shall be 6mm continuous fillet unless noted otherwise.

- S6. Bolt welds are to be complete penetration butt welds as defined shall be used.

- S7. Refer to structural drawings for purlin and girt sizes and spacing installed in accordance with manufacturers directions. Use washers bolts shall be:
- M12 4.6S for sections up to 250mm deep
 - M16 4.6S for sections over 250mm deep

- S8. Purlin cleats shall be 5mm thick, with 6mm dia, unless otherwise noted.

- S9. Bolt type and procedure is as follows:
- 4.6S Refer to commercial bolts of strength grade 4.6 conform using a standard wrench to a snug tight condition.
 - 8.8S Refer to high strength bolts of strength grade 8.8 conform using a standard wrench to a snug tight condition.

- 8.8TF Refer to high strength bolts of strength grade 8.8 conform tensioned in a controlled manner to the requirements of AS 4100.

- S10. All Structural steelwork below ground to be encased by concrete.

- S11. Concrete encased structural steel to be encased by S141 steelwork. Encasing to provide 50mm min. cover, 75mm min. cover steelwork to be given one stop coat of approved paint unless otherwise noted.

- S12. All brickwork / blockwork shall comply with AS 3700.

- S13. Mortar to brickwork / blockwork shall be 1:1:6 unless otherwise specified.

- S14. Minimum compressive strength of brick to be 30MPa unless otherwise noted.

- S15. Minimum compressive strength of concrete blocks to be 15MPa unless otherwise noted.

- S16. All joints in brick and / or block walls to be in accordance with the practice.

- S17. Cavity wall ties to be in accordance with current standards and requirements.

- S18. All steel columns, mullions and horizontal supports, provide 32mm steelwork in an approved manner at 500cmm.

- S19. Provide articulation / expansion joints at 6.0m c/c's max.

- S20. Provide articulation / expansion joints at 6.0m c/c's max.

- S21. Provide articulation / expansion joints at 6.0m c/c's max.

- S22. Provide articulation / expansion joints at 6.0m c/c's max.

BRICKWORK / BLOCKWORK

- B1. All brickwork / blockwork shall comply with AS 3700.

- B2. Mortar to brickwork / blockwork shall be 1:1:6 unless otherwise specified.

- B3. Minimum compressive strength of brick to be 30MPa unless otherwise noted.

- B4. Minimum compressive strength of concrete blocks to be 15MPa unless otherwise noted.

- B5. All joints in brick and / or block walls to be in accordance with the practice.

- B6. Cavity wall ties to be in accordance with current standards and requirements.

- B7. All steel columns, mullions and horizontal supports, provide 32mm steelwork in an approved manner at 500cmm.

- B8. Provide articulation / expansion joints at 6.0m c/c's max.



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 PROPOSED PROJECT Johnson, Ryan

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PROPOSED PROJECT

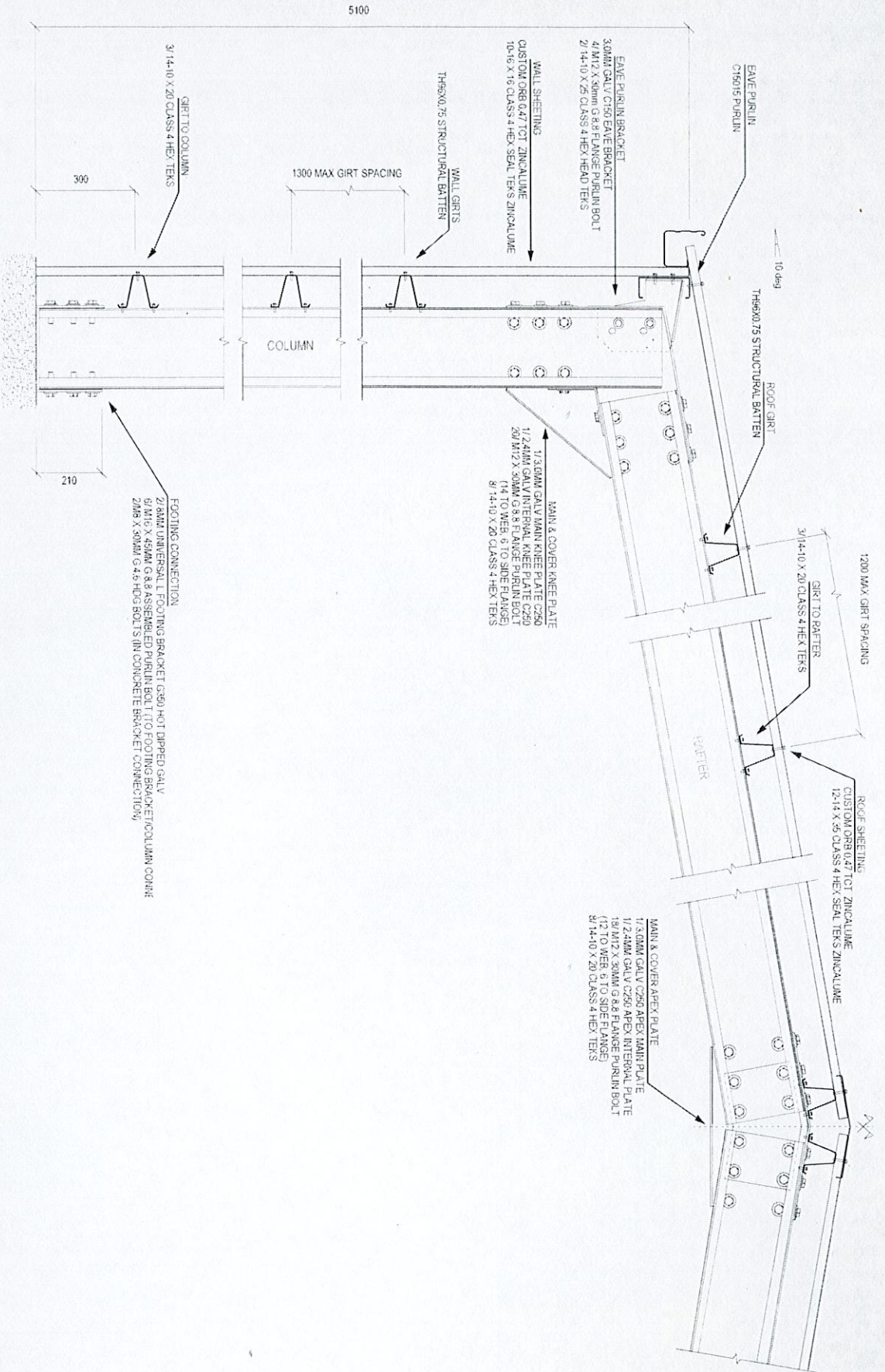
Johnson, Kym
LONGHORN TRANSPORT PTY LTD
LOT 17 DAVIDSON RD
TAMBO QLD 4478

TECHNICAL CONSULTING

STRUCTURAL AND CIVIL ENGINEERS
High Springs Development Pty Ltd
ASN 99 074 651 899
60 Princes Highway, Cobargo NSW 2550
Telephone & Fax (02) 6 936 061
Mobile (0419) 938 301

DESCRIPTION

DETAILED CONNECTIONS DETAIL

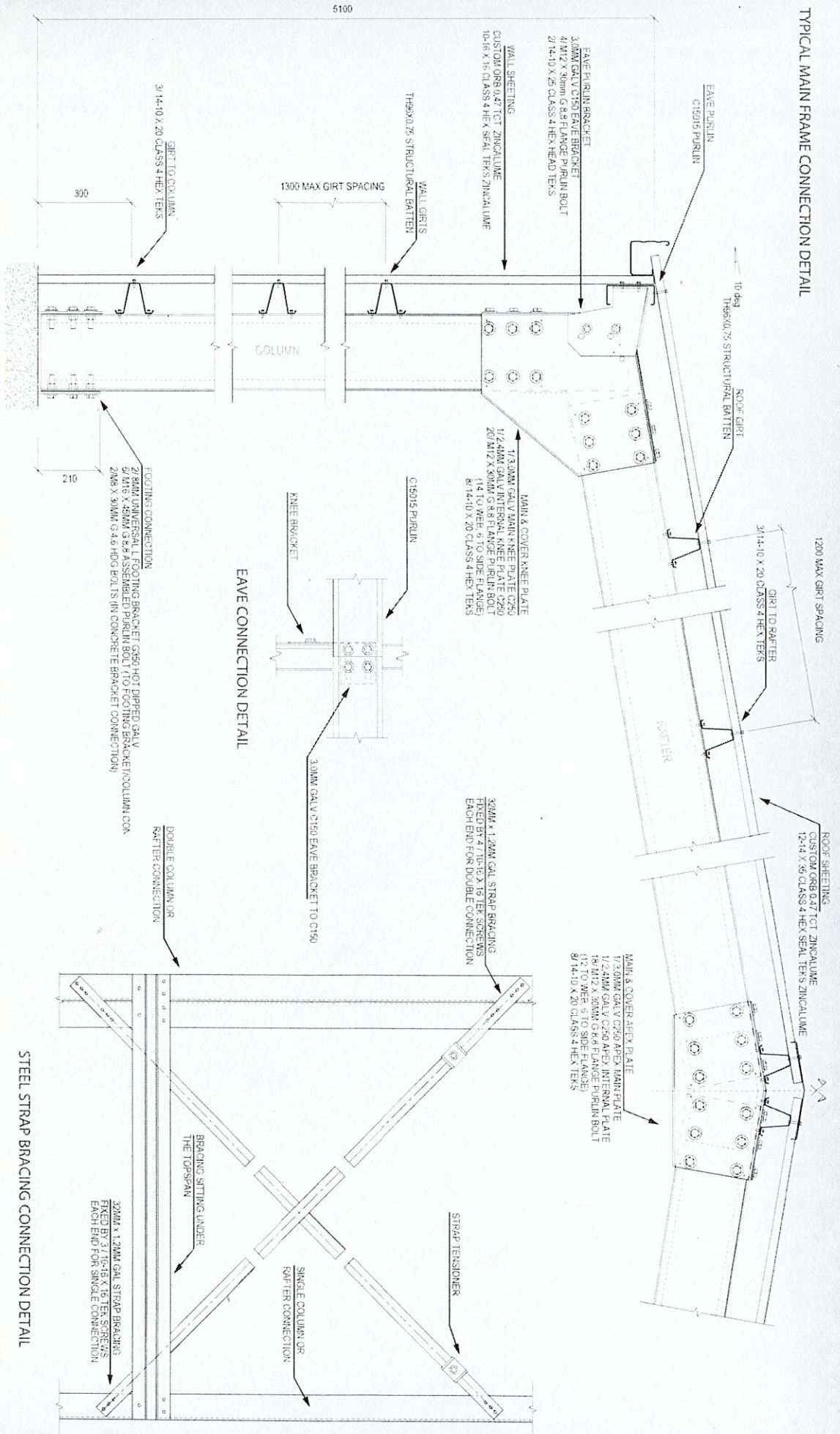


George Zuev
RPEQ 7551

23 JUN 2023

Issue #	Design: E.B.D	Drawn: R.V.N.L.W
SCALE: N:1.5	SIZE: A3	DATE: 19/06/2023
REGION: A	REGIONAL WIND SPEED V(500): 45 M/S	TERMIN CAT: 2
DRAWING NO. JOHNS034744 - 02		

TYPICAL MAIN FRAME CONNECTION DETAIL



George Zuey RPEQ 7551 23 JUN 2023

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PROPOSED PROJECT
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LONGHORN TRANSPORT PTY LTD
LOT 17 DAVIDSON RD
TAMBO QLD 4478

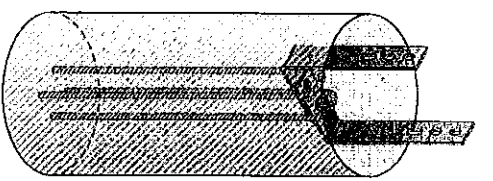
DESCRIPTION
DETAILED CONNECTIONS DETAIL

TECHNIBUILD CONSULTING
STRUCTURAL AND CIVIL ENGINEERS
High Springs Development Pty Ltd
ABN 93 074 651 899
60 Princes Highway, Coango NSW 2550
Telephone & Fax (02) 6 936 061
Mobile (0419) 936 301

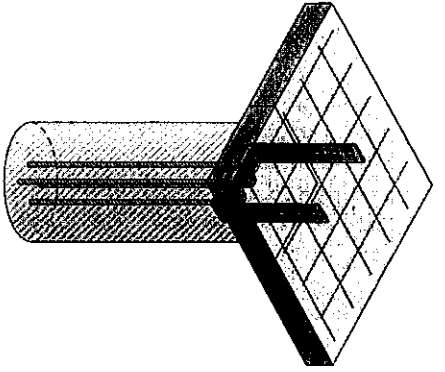
Issue: 8	DESIGN: E.B.D	DRAWN BY: N.J.W
SCALE: N.T.S	SITE: A3	DATE: 19/06/2023
REGION: A	REGIONAL WIND SPEED V1500: 45 M/S	TERMIN CAT: 2
DRAWING NO: JOHN5034744-03		

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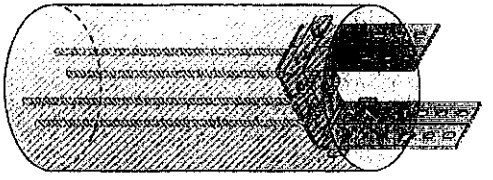
TYPICAL PIER AND SLAB CONNECTION DETAILS



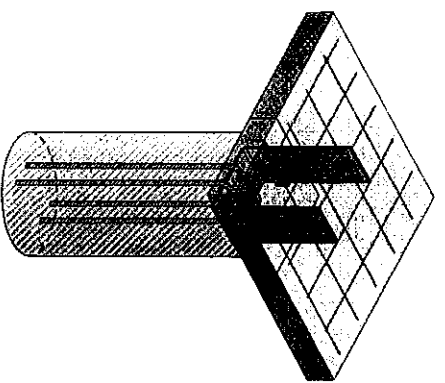
FOOTING BRACKET
FOR SINGLE COLUMN - PIER ONLY



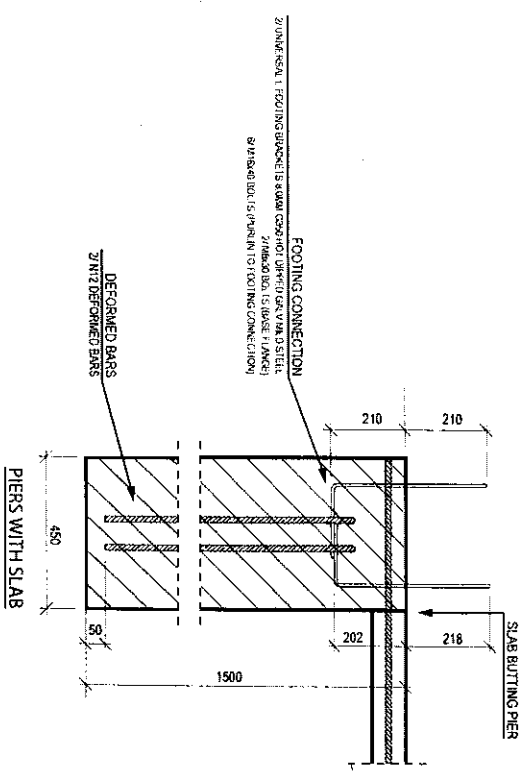
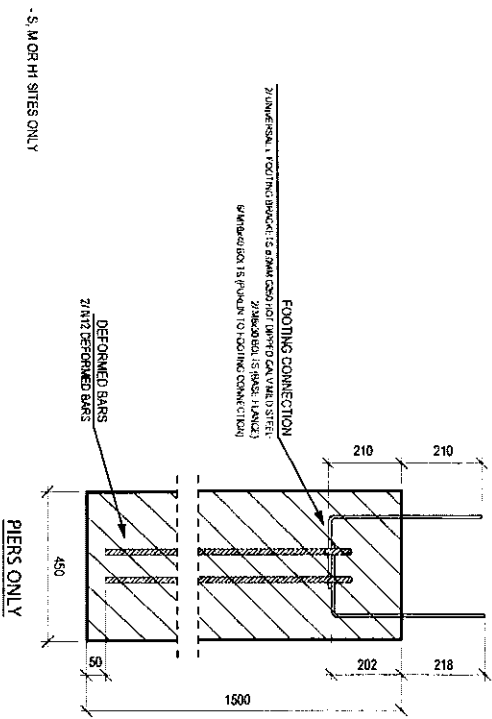
FOOTING BRACKET
FOR SINGLE COLUMN - WITH SLAB



FOOTING BRACKET
FOR BTB COLUMN - PIER ONLY



FOOTING BRACKET
FOR BTB COLUMN - WITH SLAB



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PROPOSED PROJECT

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LONGHORN TRANSPORT PTY LTD
LOT 17 DAVIDSON RD
TAMBO QLD 4478

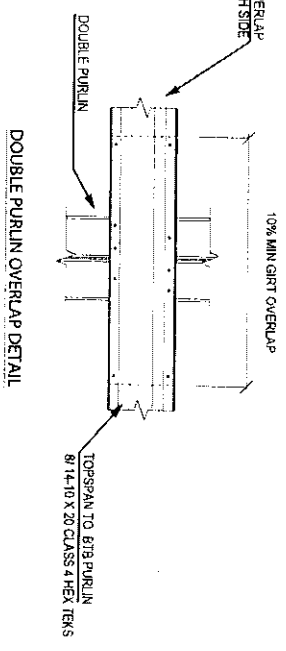
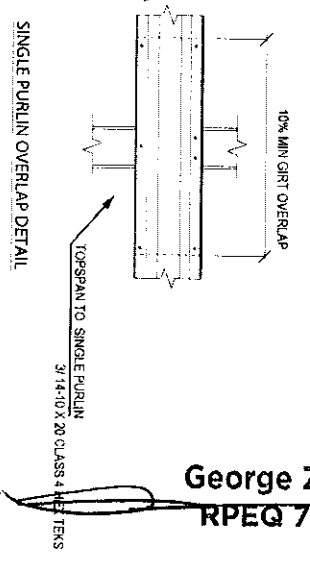
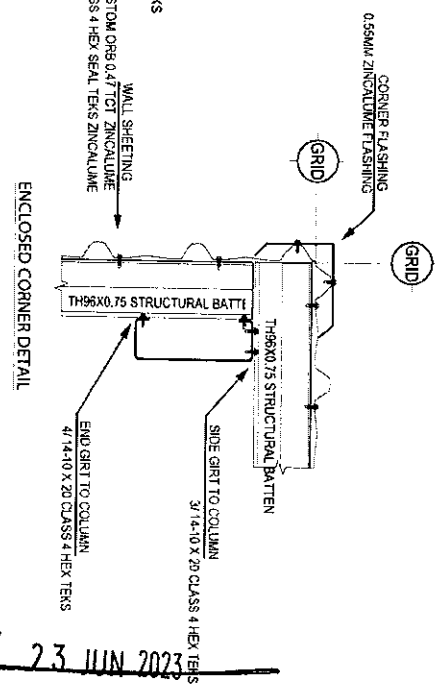
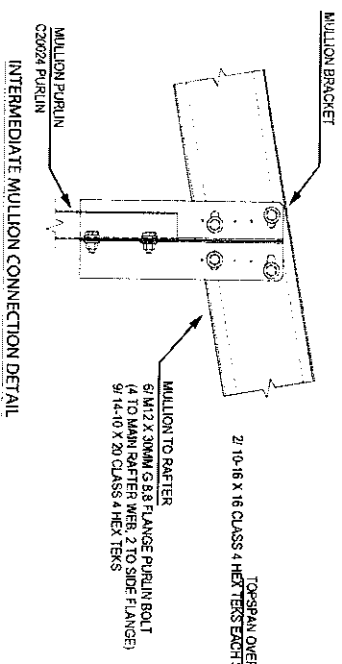
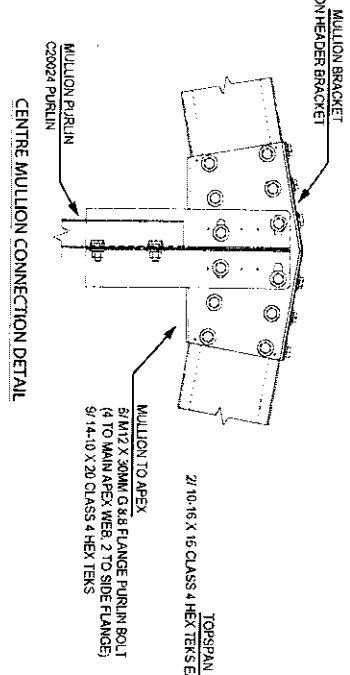
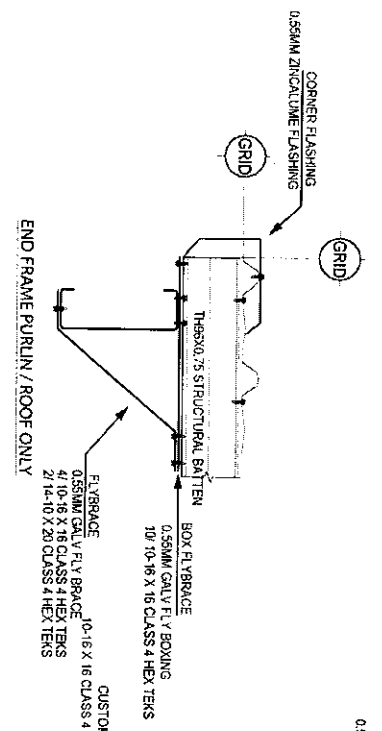
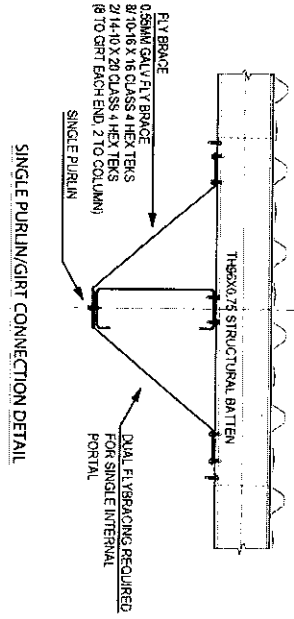
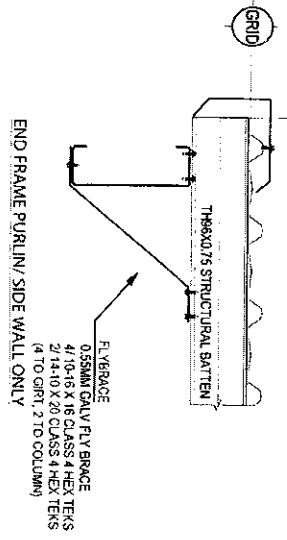
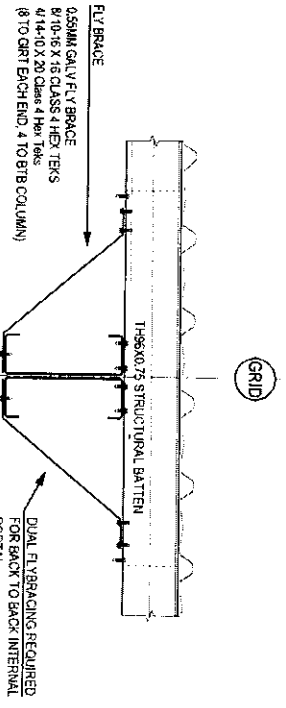
TECHNIBUILD CONSULTING

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High Springs Development Pty Ltd
ABN 93 074 651 899
60 Princes Highway, Cobargo NSW 2550
Telephone & Fax (02) 6 936 061
Mobile (0419) 938 301

Issue: B	DESIGN: E.B.D	DRAWN BY: N.L.W
SCALE: N1:5	SIZE: A3	DATE: 19/06/2023
REGION: A	REGIONAL WIND SPEED V(500): 45 M/S	TERRAIN CAT: 2
DRAWING NO.	JOHNS034744 - 04	

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23 JUN 2023

DETAILED CONNECTIONS CONTINUED



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PROPOSED PROJECT

Johnson Kym
LONGHORN TRANSPORT PTY LTD
LOT 17 DAVIDSON RD
TAMBO QLD 4478

TECHIBUILD CONSULTING
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Mobile (04) 19 938 501



ESTABLISHED BUILDING
DESIGNS

DESCRIPTION

DETAILED CONNECTIONS DETAIL

Issue: B	DESIGN: E.A.D.	DRAWN: BR/MLW
SCALE: N:1.5	SIZE: A3	DATE: 19/06/2023
REGION: A	REGIONAL WIND SPEED (VG00): 45 MS	TERRAIN CAT: 2
DRAWING NO.	JOHNS034744 - 05	

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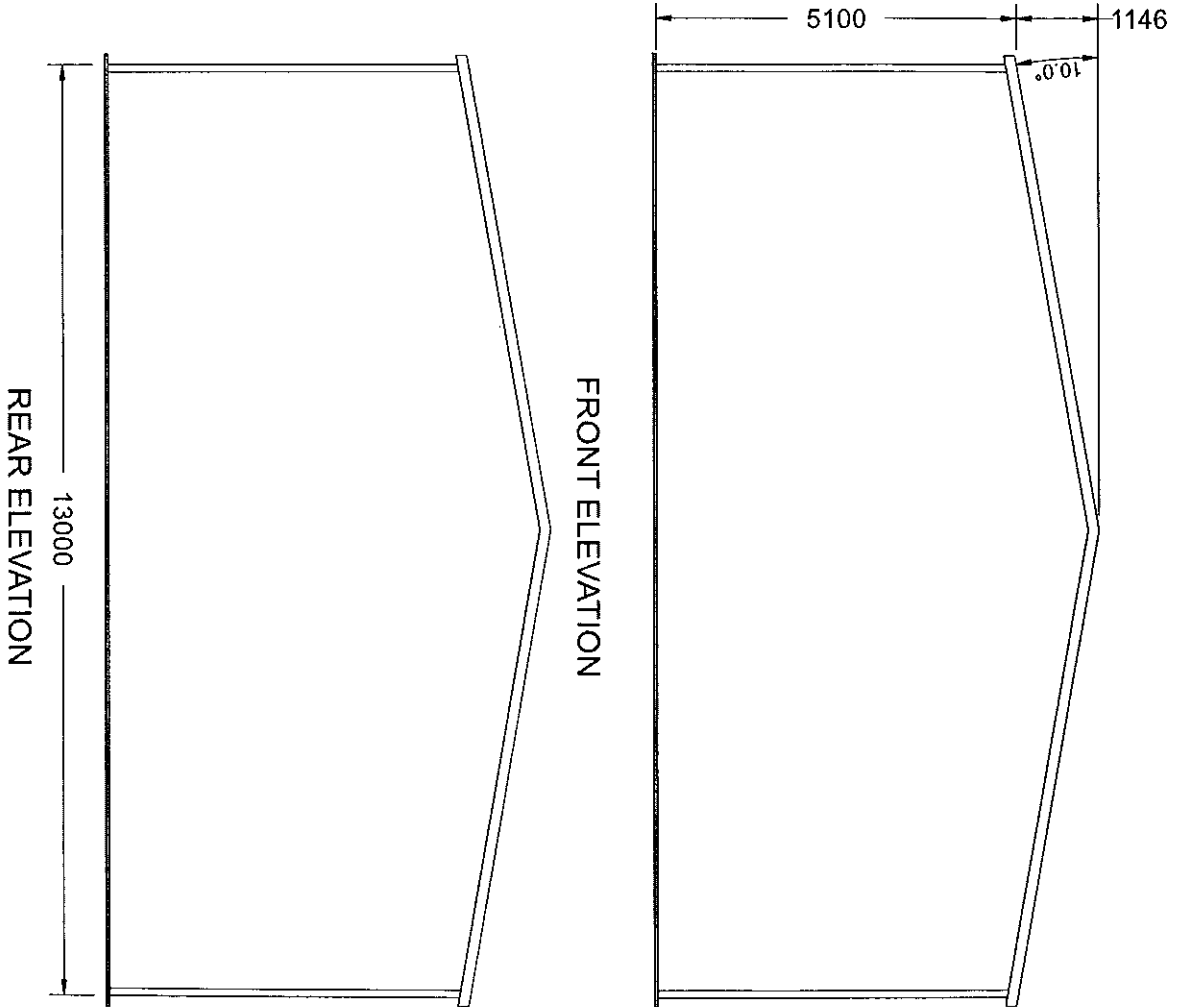
23 JUN 2023

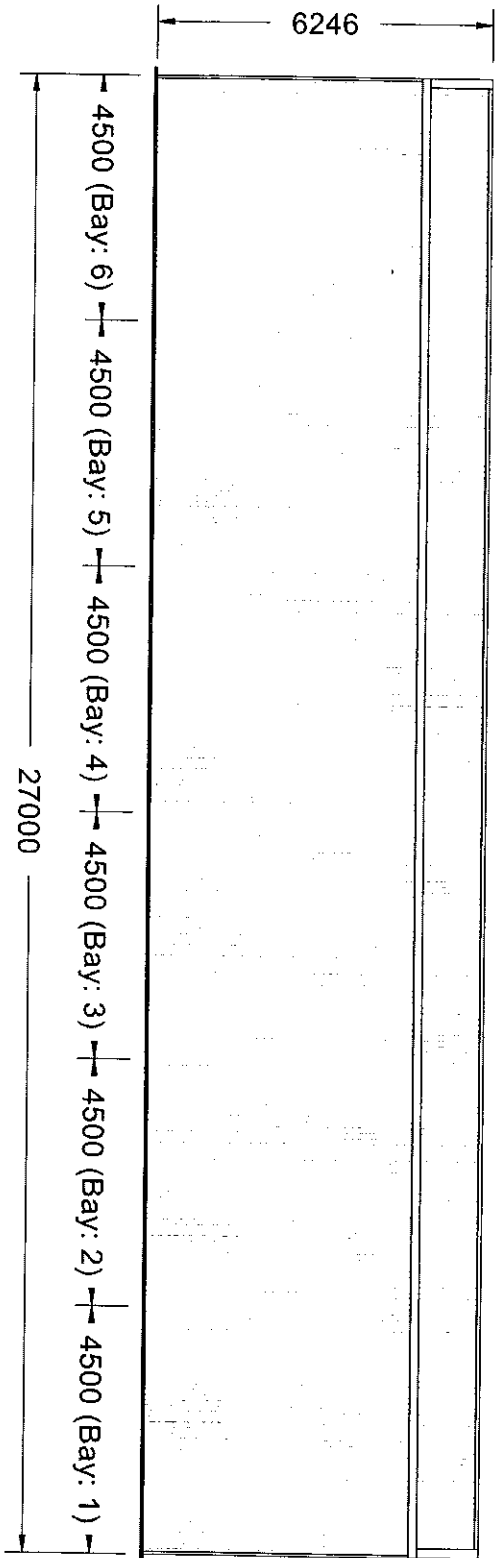
JOB DETAILS

PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.1m - Permeable Building
CUSTOMER: Longhorn Transport Pty Ltd, Kym Johnson
SITE: Lot 17 Davidson Rd, Tamborine, QLD, 4478

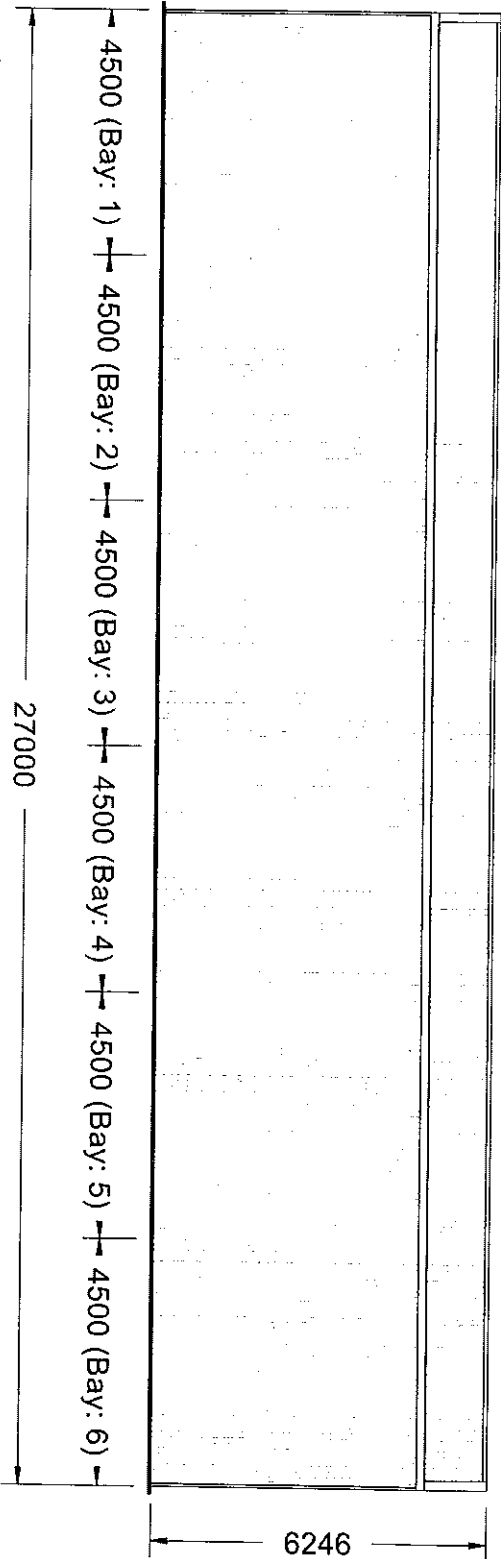
DRAWING DETAILS

DRAWING NO.: AP34744
DRAWING TYPE: Architectural Drawings
DRAWING SCALE: 1:87





LEFT ELEVATION



RIGHT ELEVATION

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 RPEQ 7551

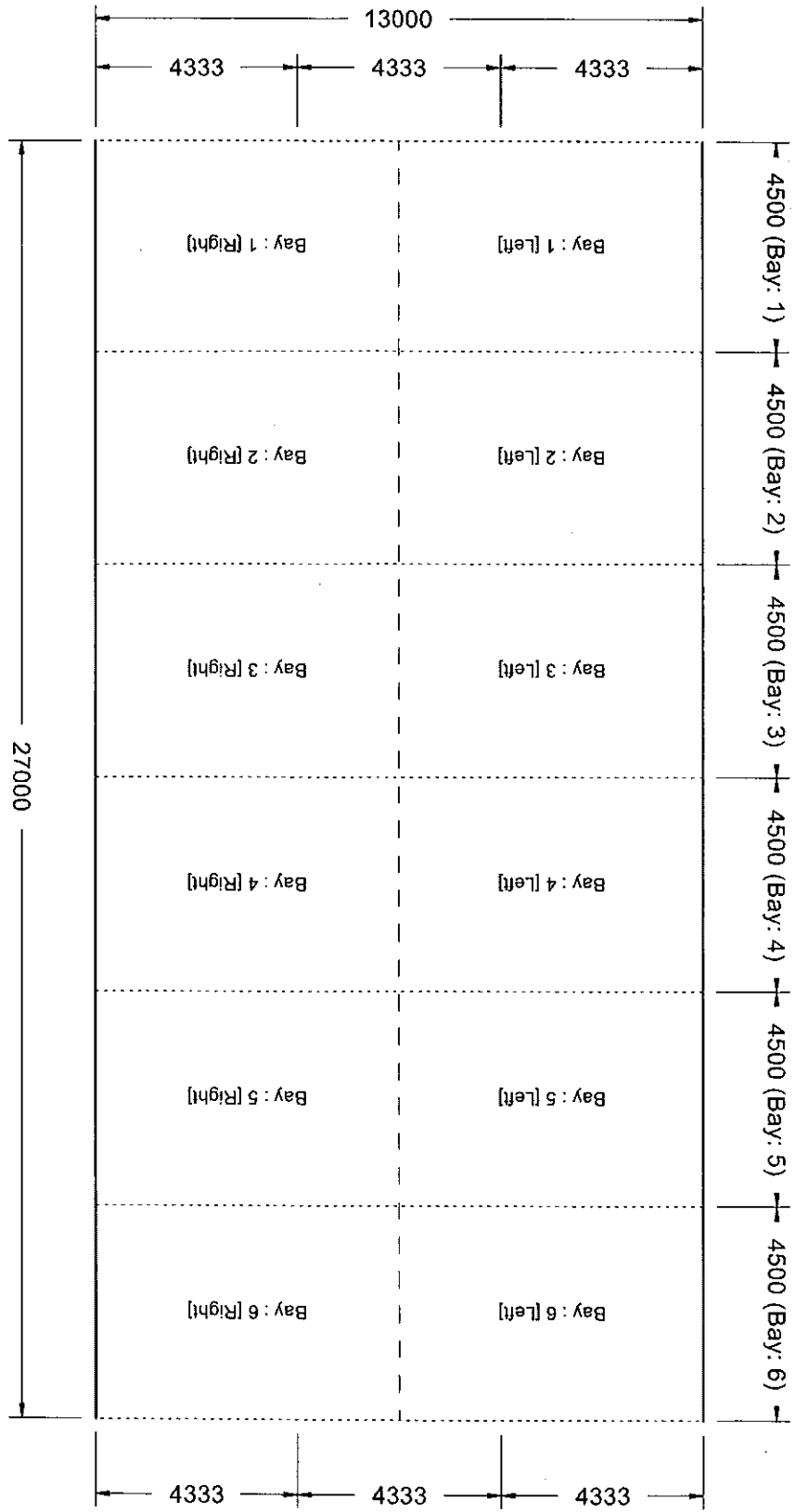
JOB DETAILS

PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.1m - Permeable Building
 CUSTOMER: Longiron Transport Pty Ltd, Kym Johnson
 SITE: Lot 17 Davidson Rd, Tambora, QLD, 4478

DRAWING DETAILS

DRAWING NO.: AP34744
 DRAWING TYPE: Architectural Drawings
 DRAWING SCALE: 1:95

Plan Elevation

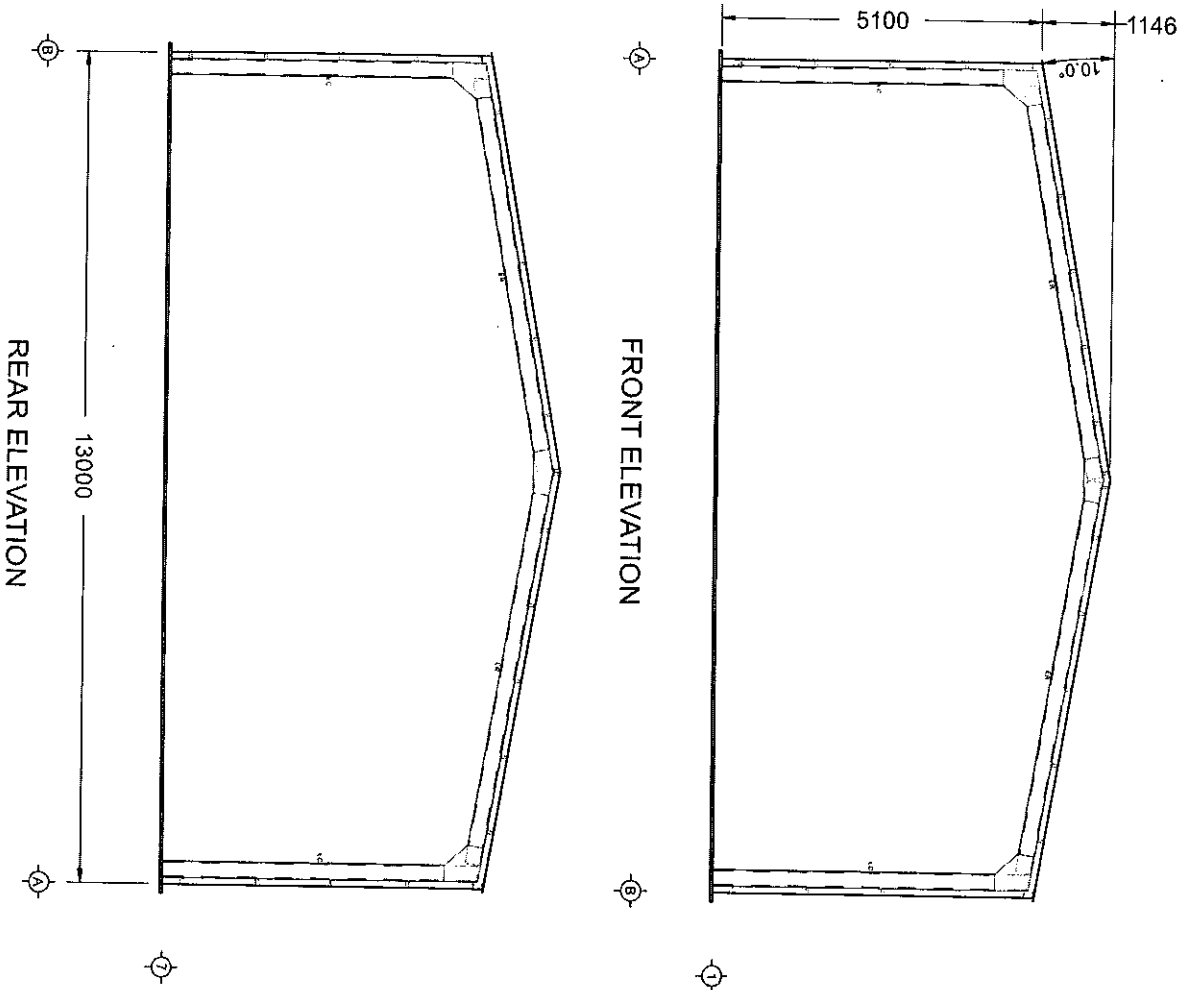


JOB DETAILS

PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.1m - Permeable Building
CUSTOMER: Lungnorm Transport Pty Ltd, Kym Johnson
SITE: Lot 17 Davidson Rd, Tambo, QLD, 4478

DRAWING DETAILS

DRAWING NO.: AP34744
DRAWING TYPE: Engineering Drawing
DRAWING SCALE: 1:75

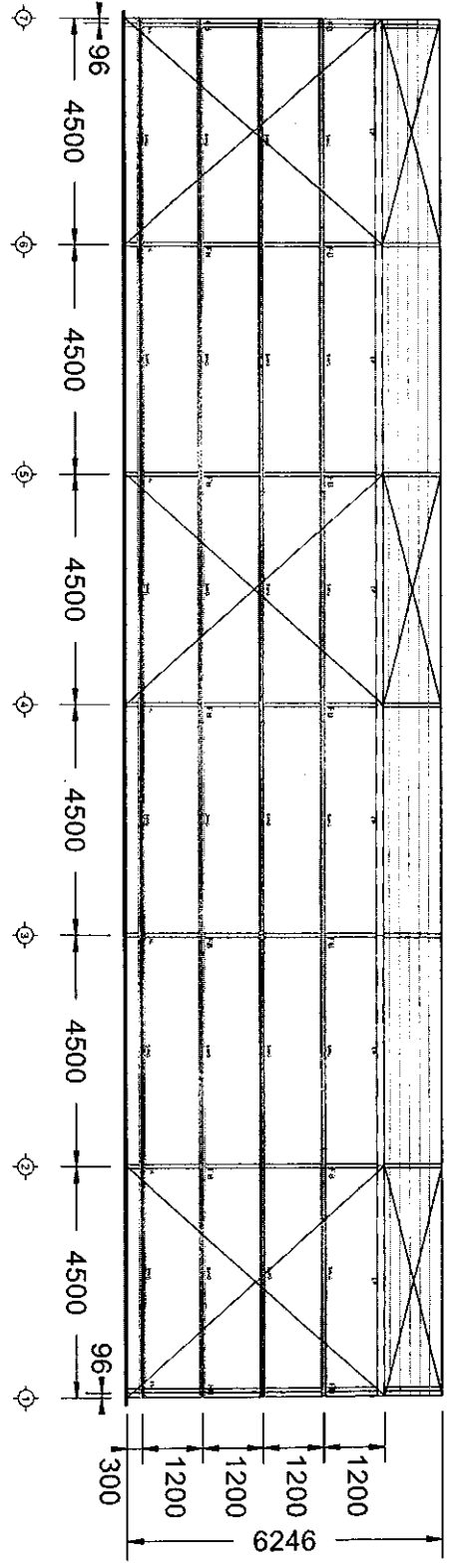


JOB DETAILS

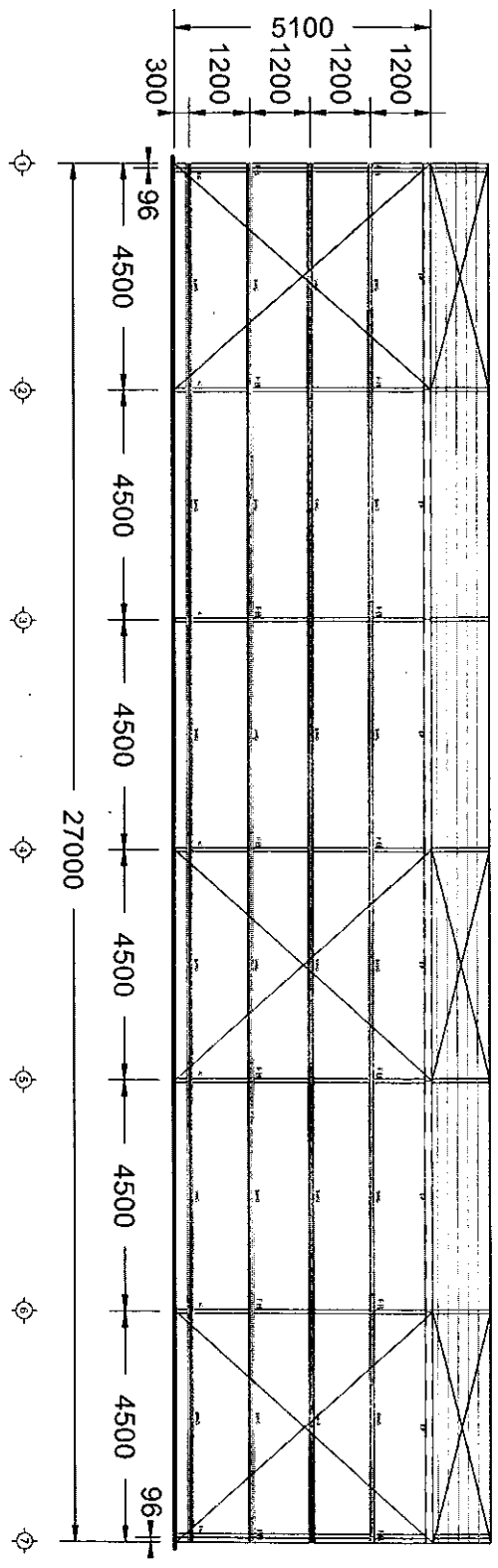
PROPOSED PROJECT: Johns034744 | 130m x 27m x 5.1m - Permeable Building
 CUSTOMER: Lungham Transport Pty Ltd, Kym Johnson
 SITE: Lot 17 Davidson Rd, Tambora, QLD, 4478

DRAWING DETAILS

DRAWING NO.: AP34744
 DRAWING TYPE: Engineering Drawing
 DRAWING SCALE: 1:94



LEFT ELEVATION



RIGHT ELEVATION

PLANS DRAWN BY

now BUILDINGS

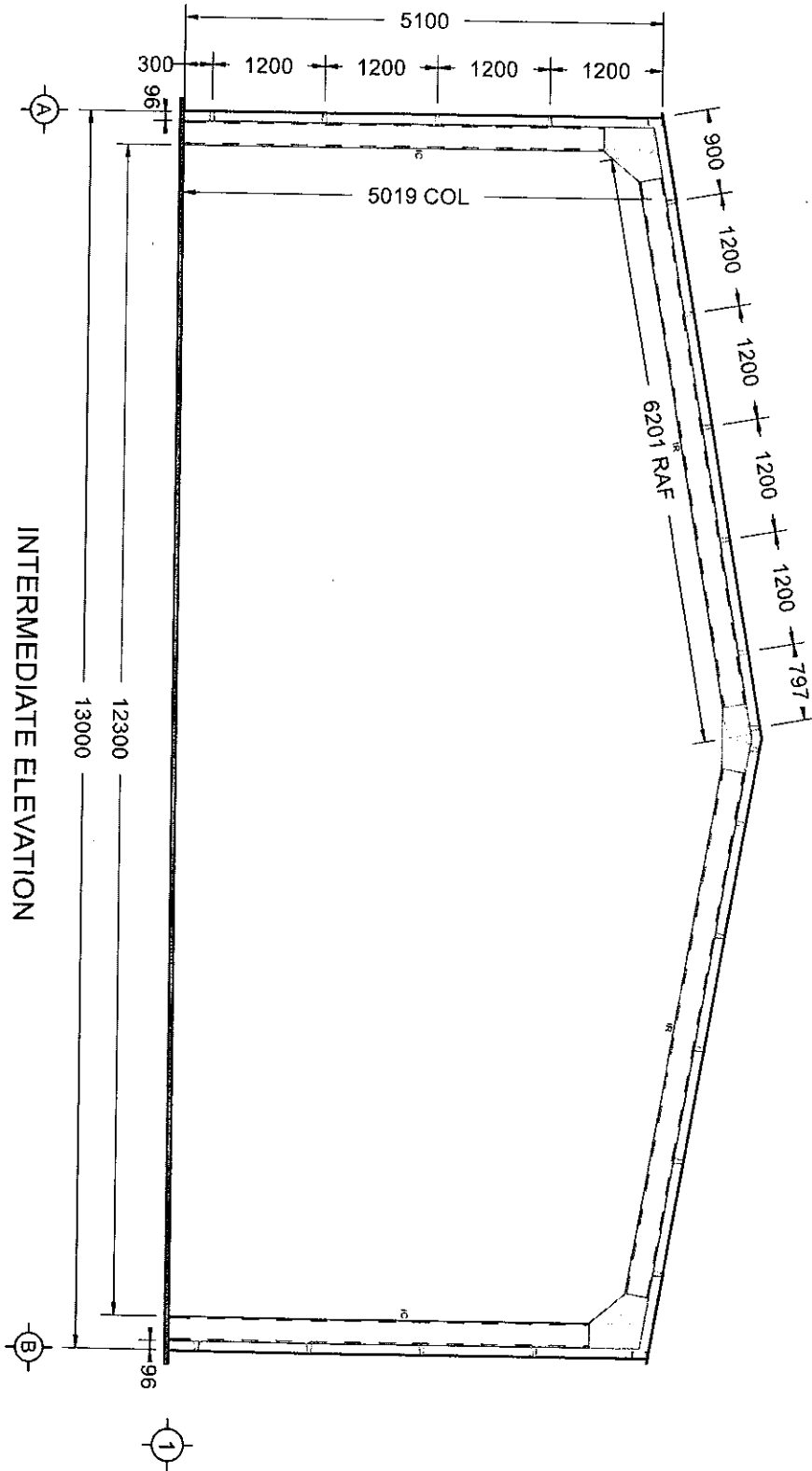
P 1300 553 779 F 1300 554 882
E john@nowbuildings.com.au
www.nowbuildings.com.au

JOB DETAILS

PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.7m - Permeable Building
CUSTOMER: Longhorn Transport Pty Ltd, Kym Johnson
SITE: Lot 17 Davidson Rd, Tambo, QLD, 4478

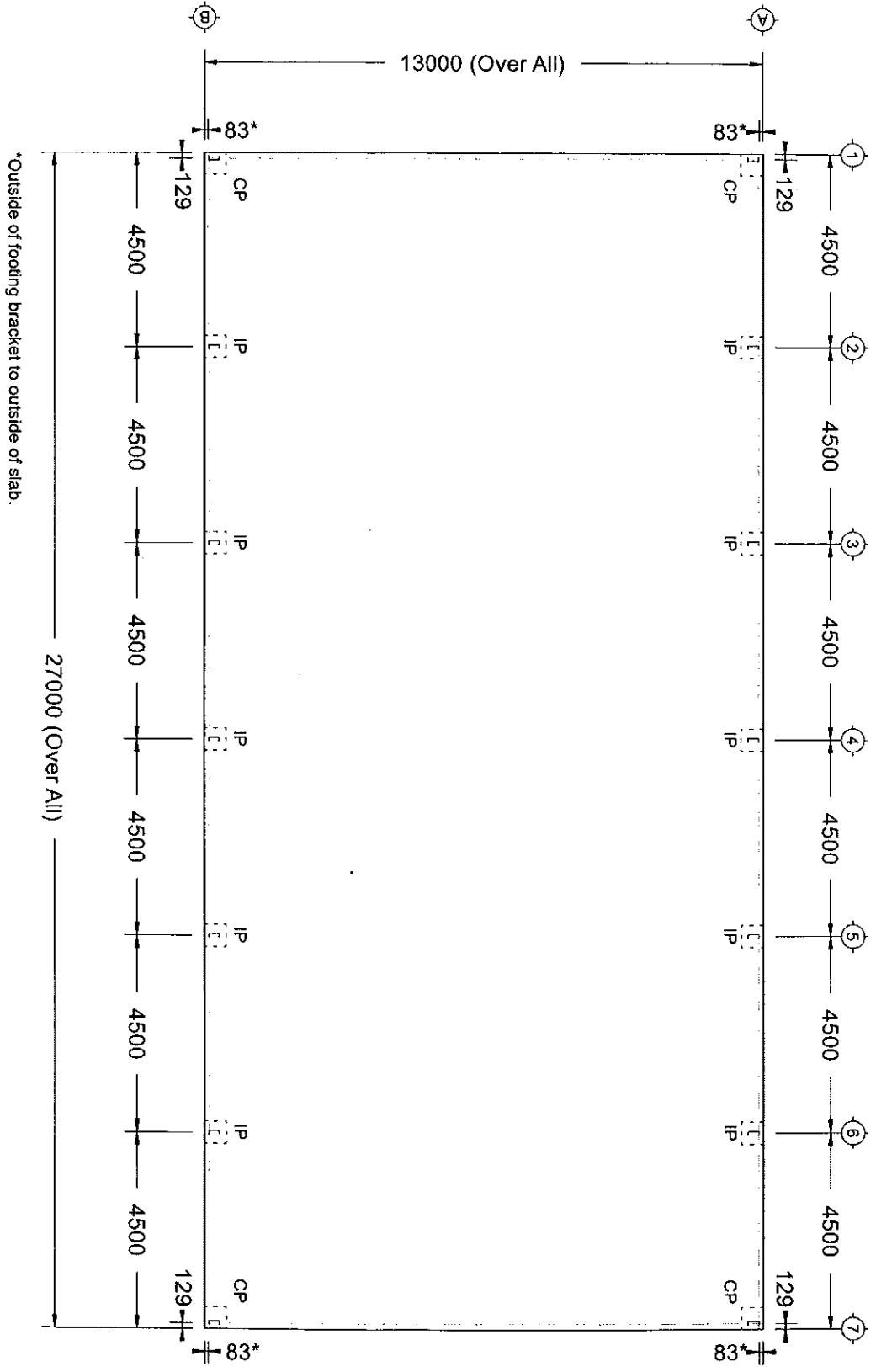
DRAWING DETAILS

DRAWING NO.: AP94744
DRAWING TYPE: Engineering Drawing
DRAWING SCALE: 1:47



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23 JUN 2023



FLOOR PLAN

JOB DETAILS

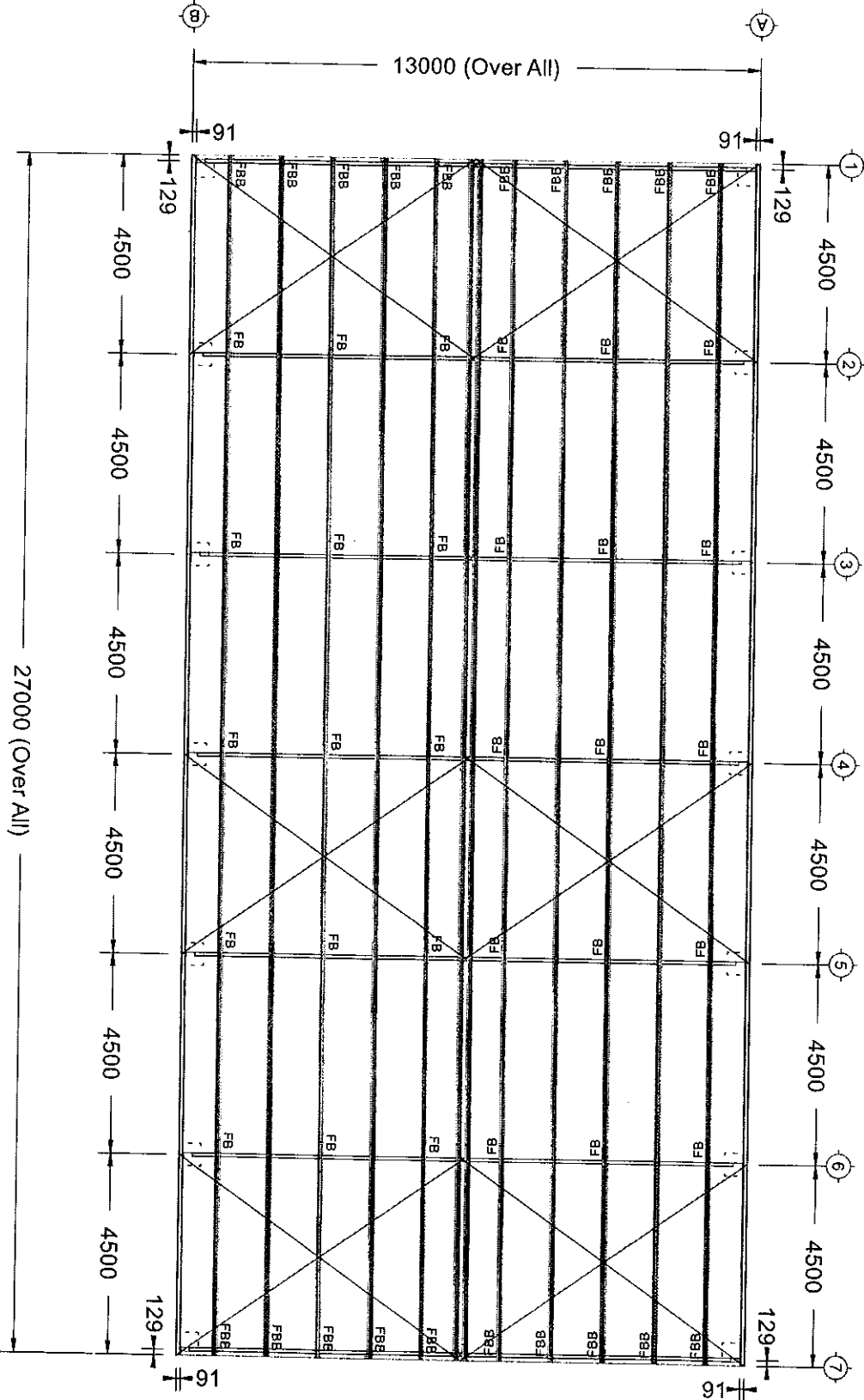
PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.1m - Permeable Building
 CUSTOMER: Longhorn Transport Pty Ltd, Kym Johnson
 SITE: Lot 17 Davidson Rd, Tambo, QLD, 4478

DRAWING DETAILS

DRAWING NO.: AP34744
 DRAWING TYPE: Engineering Drawing
 DRAWING SCALE: 1:33

CP	Col Size	C25019
	Pier Size	Ø 450 X 1500
IP	Col Size	C25019
	Pier Size	Ø 450 X 1600

George Zuev 23 JUN 2023
 RPEQ 7551



ROOF PLAN

PLANS DRAWN BY

JOB DETAILS

PROPOSED PROJECT: Johns03474 | 13m x 27m x 5.1m - Permeable Building
 CUSTOMER: Longdon Transport Pty Ltd, Kyrn Johnson
 SITE: Lot 17 Davidson Rd, Tambo, QLD, 4478

DRAWING DETAILS

DRAWING NO.: AP34744
 DRAWING TYPE: Engineering Drawing
 DRAWING SCALE: 1:33

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 RPEQ 7551
 23 JUN 2023

CLIENT DETAILS

Customer Name Kym Johnson (Longhorn Transport Pty Ltd) **Job Number** Johns034744
Site Address Lot 17 Davidson Rd, Tambo, QLD, 4478

BUILDING DETAILS

Width	13000 mm	Length	27000 mm	Eave Height	5100 mm	Roof Pitch	10 Degree
Terrain Cat	2	Wind Region	A	Wind Velocity	45 m/s m/s		
Side Bay Qty	6	Side Bay Width	4500 mm (Max)	End Bay Qty	3	End Bay Width	4333 mm (Max)

INTERNAL PORTAL FRAME

Internal Column (IC)	C25019
Internal Rafter (IR)	C25019
Knee Brace (KB)	NA
Knee Brace % Eave Height	NA
Apex Brace (AB)	NA
Apex Brace % Width	NA
Open Bay Column	NA

END PORTAL FRAME

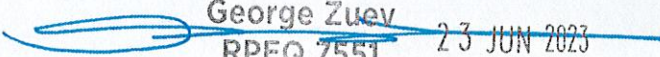
End Column (EC)	C25019
End Rafter (ER)	C25019
Knee Brace (KB)	NA
Knee Brace % Eave Height	NA
Apex Brace (AB)	NA
Apex Brace % Width	NA
End Wall Mullion (EWM)	NA

PURLINS AND GIRTS

Eave purlin (EP)	C15015				
Side Wall Girts	TH96070	Max Spacing	1300 mm	% Girt Overlap	11.00%
Front End Wall Girts	TH96070	Max Spacing	1300 mm	% Girt Overlap	11.00%
Back End Wall Girts	TH96070	Max Spacing	1300 mm	% Girt Overlap	11.00%
Roof Purlin	TH96070	Max Spacing	1200 mm	% Purlin Overlap	11.00%

BRACING

Side Wall Cross Bracing	32mm x 1.2mm Steel Strapping	No. of Bays Cross Braced	3 bays
Front End Wall Cross Bracing	32mm x 1.2mm Steel Strapping	No. of Bays Cross Braced	0 bays
Back End Wall Cross Bracing	32mm x 1.2mm Steel Strapping	No. of Bays Cross Braced	0 bays
Roof Cross Bracing	32mm x 1.2mm Steel Strapping	No. of Bays Cross Braced	3 bays


George Zuev
RPEQ 7551

23 JUN 2023

BRACING (continued)

Side Wall Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Column	Every Alternate Row (minimum)
Front End Wall Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Mullion	Every Alternate Row (minimum)
Back End Wall Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Mullion	Every Alternate Row (minimum)
Roof Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Rafter	Every Alternate Row (minimum)

SHEETING & FLASHINGS

Roof Cladding Type	Custom Orb 0.47 TCT	Roof Cladding Colour	Zincalume
Wall Cladding Type	Custom Orb 0.47 TCT	Wall Cladding Colour	Zincalume
Gutter Type	FasciaGutter	Gutter Colour	Zincalume
Barge Type	Barge	Barge Colour	Zincalume
Downpipe Type	PVC 90 Round Downpipe	Downpipe Colour	White

LEFT LEANTO PORTAL FRAME

Internal Rafter	NA
Internal Column	NA
End Rafter	NA
End Column	NA
Eave Purlin	NA

RIGHT LEANTO PORTAL FRAME

Internal Rafter	NA
Internal Column	NA
End Rafter	NA
End Column	NA
Eave Purlin	NA

BEAMOVER FRAME

Beamover Beam (Internal)	NA	Beamover Beam (Outer)	NA
Beamover Rafter	NA	Beamover Rafter Apex Brace	NA

ROLLERDOOR

Roller Door Width	Upto 3200 mm	Upto 4300 mm	Upto 6000 mm
Roller Door Header	NA	NA	NA
Side Wall Roller Door Jamb	NA	End Wall Roller Door Jamb	NA

PERSONAL ACCESS DOOR

Side PA Door Frame	NA	End PA Door Frame	NA
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METAL SLIDING DOOR

Metal Sliding Door Header	NA
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George Zuev

RPEX 755T

23 JUN 2023

Alpha Tambo Road



53.162m

159.492m

175.959m

15m

2.7m
Proposed new
shed extension
13m

existing
shed

35m

67.317m

28.742m

Davidson Rd Tambo