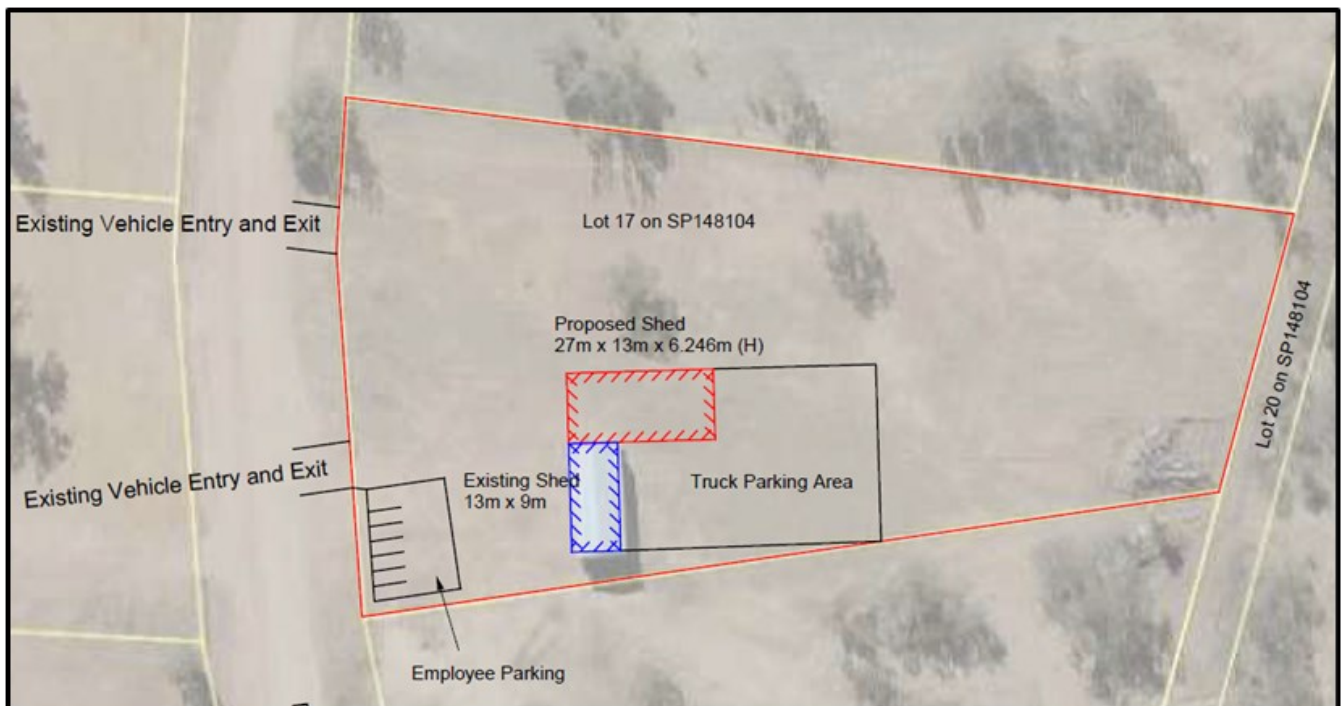


## PLANNING REPORT

No. 400632

Application for a Development Permit for Material Change of Use of Premises for a Transport Depot, involving land described as Lot 17 on SP148104, situated at Davidson Road, Tambo, Qld, 4478.



Prepared on Behalf of Longhorn Transport Pty Ltd

July 2023

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Appendix B – Survey Plans and SmartMap

Appendix C – Plan of Development, No. 400632

Appendix D – Existing Shed Approval

Appendix E – Building Application for New Shed

Appendix F – Code Assessment

Appendix G – State Code 16 Assessment

## Contact Details

**Murray & Associates (Qld) Pty Ltd**  
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Email: [andrewb@mursurv.com](mailto:andrewb@mursurv.com)





## 1.0 Summary

### SITE DETAILS

<b>Real Property Description</b>	Lot 17 on SP148104
<b>Address</b>	Davidson Road, Tambo, Qld, 4478
<b>Subject Land Area</b>	1.235ha
<b>Local Authority</b>	Blackall-Tambo Regional Council
<b>Current Registered Landowner</b>	Longhorn Transport Pty Ltd (A.C.N. 108 040 320)

### COUNCIL PLANNING DESIGNATIONS

<b>Planning Instrument</b>	Blackall-Tambo Region Planning Scheme
<b>Zone Map</b>	Blackall-Tambo Zone Map – ZM003
<b>Zone</b>	Township Zone – Industrial Precinct

### APPLICATION DETAILS

<b>Applicant</b>	Longhorn Transport Pty Ltd
<b>Application Type</b>	Development Permit for Material Change of Use of Premises for a Transport Depot
<b>Level of Assessment</b>	Code Assessment

## 2.0 Introduction

Murray & Associates (Qld) Pty Ltd have been commissioned to prepare this Planning Report on behalf of Longhorn Transport Pty Ltd for an Application for a Development Permit for Material Change of Use of Premises to establish a Transport Depot, involving land described as Lot 17 on SP148104, situated at Davidson Road, Tambo, Qld, 4478.

Longhorn Transport Pty Ltd (A.C.N. 108 040 320), as the Current Registered Landowner of the site confirmed by the Current Title Searches (**Appendix A**), have provided written consent to the proposed development by signing the Company Owner's Consent Form. A copy of which is attached to this application. Also accompanying this planning report is a Development Application DA Form 1.

The subject site comprises an area of 1.235ha and is included within the *Township Zone – Industrial Precinct*, in accordance with the Blackall-Tambo Zone Map – ZM003 of the Blackall-Tambo Region Planning Scheme. The proposed development is *Code Assessable*, as determined in accordance with Part 4 – Tables of Assessment, 4.4 - Categories of Development and Categories of Assessment – Material Change of Use, Table 4.4.1 – Township Zone of the Blackall-Tambo Region Planning Scheme.

This Planning Report provides an assessment of the development proposal against the applicable provisions of the Blackall-Tambo Region Planning Scheme and should be read in conjunction with the supporting information included within the Figures and Appendices, together with attached DA Form 1.

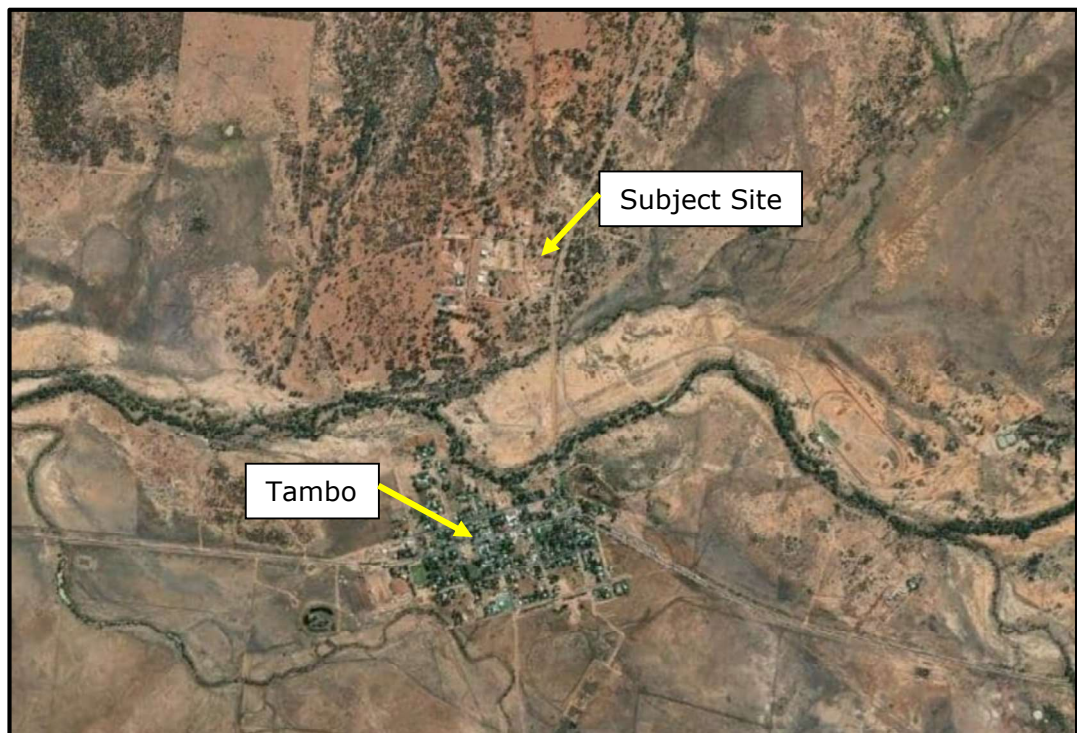
This Planning Report has been commissioned in lieu of a submitted Building Application (DA Form 2), as the site does not currently have development approval to operate as a Transport Depot (**Appendix E**). As such, a Material Change of Use is required before building approval can be granted for a shed associated with the proposed Transport Depot. This Material Change of Use application includes the existing shed onsite.

## 3.0 Characteristics of the Site and Surrounding Area

### 3.1 Overview

#### 3.1.1 Location of the Subject Site

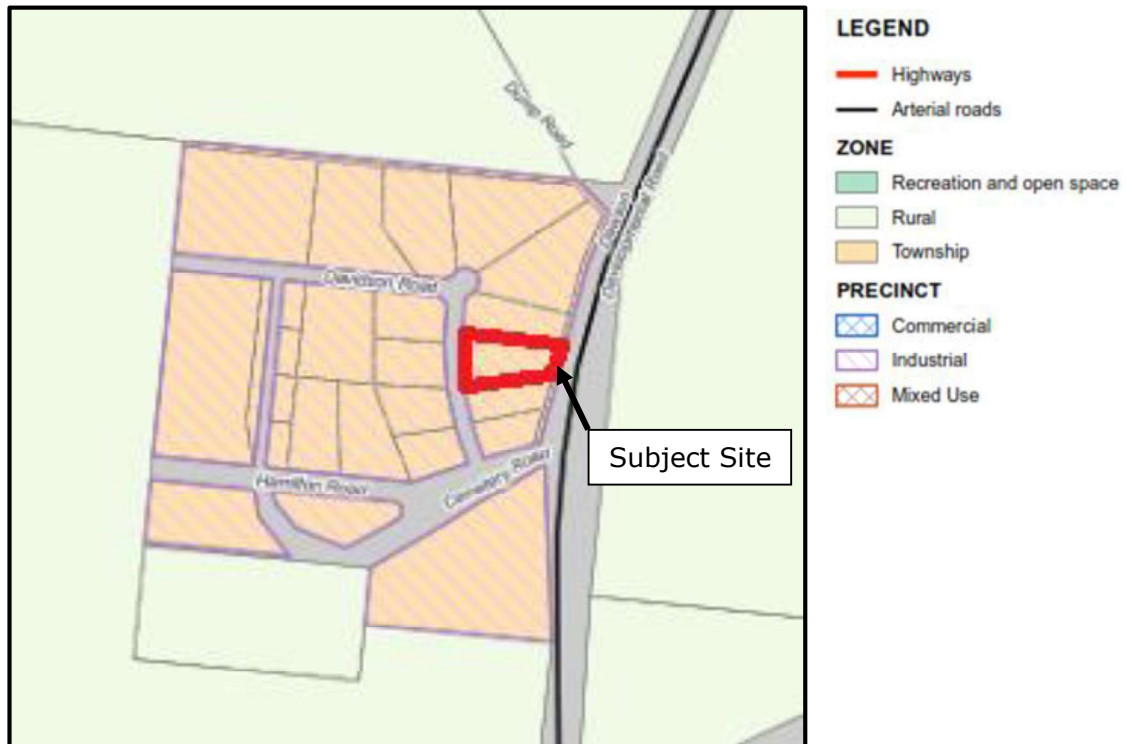
The subject site is legally described as Lot 17 on SP148104. The site is located along Davidson Road, which stems from Cemetery Road, Tambo. The subject site is approximately 1.5km north from the Tambo township. Refer below for a Locality Map of the subject site and surrounding area (**Figure 1**).



**Figure 1 – Locality Map (source: NearMap, as of July 2023)**

#### 3.1.2 Zoning Designation

The subject site is included within the *Township Zone – Industrial Precinct*, in accordance with Blackall-Tambo Zone Map – ZM003 of the Blackall-Tambo Region Planning Scheme. An extract of Zone Map ZM003 is provided over the page, identifying the subject site in relation to the surrounding land zonings (**Figure 2**).



**Figure 2 – Zone Map** (source: Blackall-Tambo Region Planning Scheme, as of July 2023)

### 3.1.3 Surrounding Land Uses

The subject site is surrounded by majority vacant, undeveloped land made up of sparse regrowth vegetation and unmanicured grassland. Sites to the north, south and west (across Cemetery Road) are also designated as Township Zone – Industrial Precinct. Lots to the east and farther north, south, and west are included in the Rural Zone. Majority of the surrounding properties are characterised by dirt ground cover and scattered vegetation, mostly consisting of mature trees and scrub. Lots to the east have sheds constructed onsite associated with their Industrial uses.

### 3.1.4 Current Registered Landowner

Longhorn Transport Pty Ltd (A.C.N. 108 040 320) is the current registered landowner of the site as confirmed by the Current Title Searches (**Appendix A**).

### **3.1.5 Built & Natural Site Features**

The site is predominantly vacant with a small shed constructed nearby the southern boundary (approved Building Certification at **Appendix D**). The site is encompassed by a stock proof fence with gates installed at the marked access points (within **Appendix C**).

### **3.1.6 Dimensions, Easements, Shape and Topography**

The subject site comprises a regular shaped allotment with a total area of 1.235ha of relatively level topography. The lot has frontage to Davidson Road. For complete site dimensions, refer to the Survey Plans and SmartMaps (**Appendix B**). The subject site is not burdened by any easements.

### **3.1.7 Access and Services**

The site currently gains access to the road network via two (2) separate access points along the Davidson Road frontage (see **Appendix C**).

The subject site has access to all urban services, including:

- Reticulated water supply;
- On-site effluent management and treatment system;
- Reticulated electricity supply; and
- Reticulated telecommunications.

## 4.0 Proposed Development

### 4.1 Development Overview

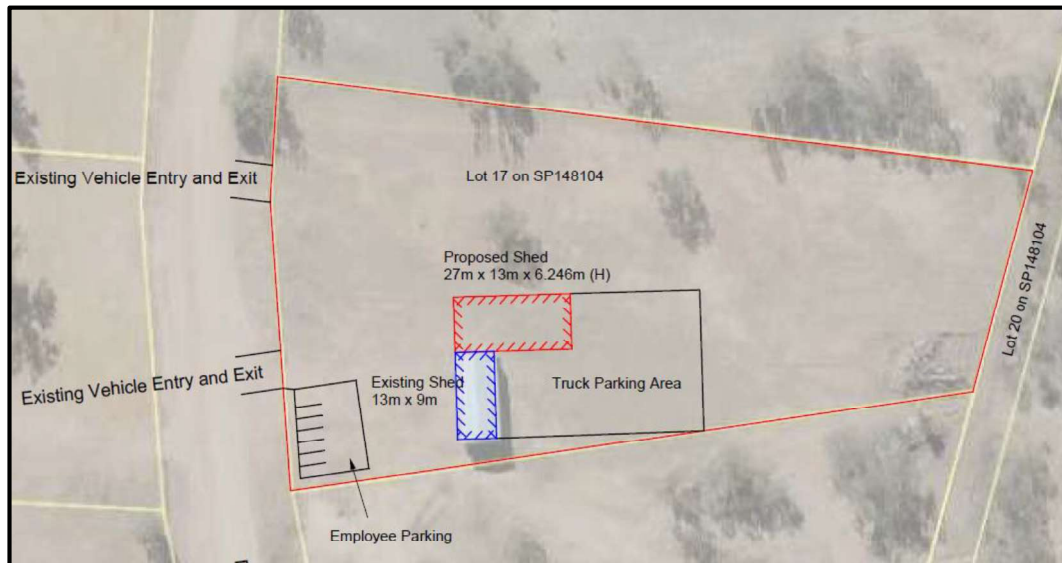
This application seeks approval for a Development Permit for Material Change of Use of Premises for a Transport Depot, involving land described as Lot 17 on SP148104, situated at Davidson Road, Tambo, Qld, 4478.

The subject site is included within the *Township Zone – Industrial Precinct*. The development is designed to minimise potential impacts from operations of the proposed uses on surrounding transport infrastructure.

It is acknowledged that an application for the use of a Transport Depot requires a ‘Code Assessment’ for a *Development Permit* within the *Township Zone – Industrial Precinct* of the Blackall-Tambo Region. Due to the proximity of the site to other non-residential uses and transport infrastructure, it is considered that the proposed Transport Depot development is appropriately located.

The Plan of Development prepared by Murray & Associates (Qld) Pty Ltd provides an overview of the proposed site layout for the proposed use (see **Appendix C / Figure 3**). It demonstrates the positioning of the existing shed in relation to the newly proposed shed. As well as the staff carparking areas and parking/laydown area for equipment.





**Figure 3 – Plan of Development (Excerpt of Appendix C)**

Building elevations and layout for the existing shed are available at the rear of **Appendix D** (page 13 of 23). Building elevations for the proposed new shed are available at the rear of **Appendix E** (page 14 and 15 of 25). Further elaboration upon the proposed use is detailed in **Section 4.1.1** of this report (below). The proposed Transport Depot development is designed to face the access street frontage (Davidson Road).

#### **4.1.1 Site Layout & Business Operations**

##### Business Operations

The business will operate 24 hours a day, 7 days a week for the access and egress of heavy vehicles and trailer hitching and unhitching.

Vehicle, plant and equipment maintenance will occur 7 days a week between the hours of 7am and 6pm.

##### Pedestrian Access

Pedestrian access is to be mainly afforded via a front door facing Davidson Road. Majority of pedestrian activity around the site is to be associated with employees leaving their vehicles in the carpark and entering the establishment, or employees undertaking assigned tasks around the yard.

### Total Use Area

The total use area of the proposed development is as follows:

- Existing shed: 117m<sup>2</sup>
- Proposed shed: 351m<sup>2</sup>
- Truck parking/laydown area: 1,251m<sup>2</sup>
- Staff carpark: 280m<sup>2</sup>

Therefore, the Total Use Area = 1,999m<sup>2</sup>.

### Height of Building

Building elevations and layout for the existing shed are available at the rear of **Appendix D** (page 13 of 23). Building elevations for the proposed new shed are available at the rear of **Appendix E** (page 14 and 15 of 25).

The sheds (existing and proposed) are generously setback from all site boundaries and the proposed building height is deemed appropriate for the location and nature of the use (15m to southern boundary and 35m to eastern boundary [frontage]).

### Operations

The following equipment will be used, maintained, repaired, and stored onsite:

- Three (3) prime-move trucks; and
- 15 semi-trailers and associated dollies.

Longhorn Transport Pty Ltd operate cattle trucks/road trains that often are configured as the Longhorn Transport Pty Ltd vehicle in **Figure 4** below.

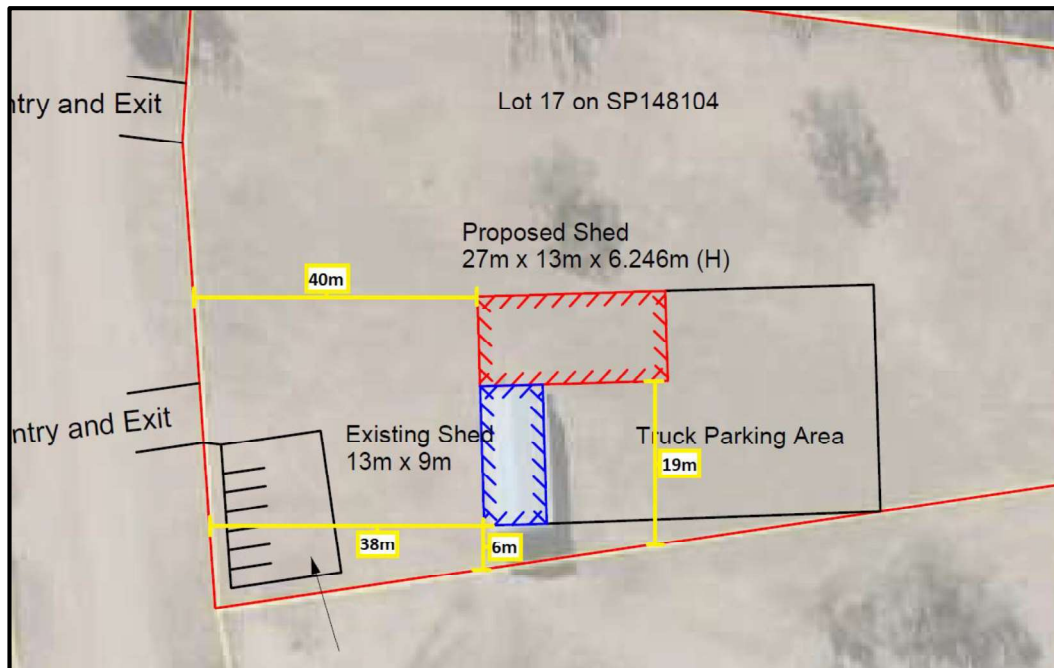




**Figure 4 – Longhorn Transport Livestock Semi**

Setbacks

See below for setback widths from existing and proposed shed.



**Figure 5 – Setbacks**

#### **4.1.2 Access and Parking**

Table 6.2.2.1 of the General Development Code stipulates that an Industrial Development in the Blackall-Tambo Region must provide parking at a rate of: 1 space per 50m<sup>2</sup> of gross floor area for the first 1000m<sup>2</sup> and 1 additional space per 100m<sup>2</sup> of gross floor area exceeding 1000m<sup>2</sup>.

The outlined minimum carparking rate of nine (9) car parks is provided at the southeast of the lot (see **Appendix C**). The proposed carparks will not be marked or concreted (concrete not necessary for low usage carpark). 240L general waste and recycling wheelie bins will be kept onsite. Once full, the general waste will be transferred to Tambo's local dumping point along the Landsborough Highway (nearby Tambo Fuel Supplies) or at the dump along Dump Road. The onsite waste bins are not expected to fill regularly given employees will often be off-site driving trucks. The only time employees will spend extended periods of time onsite is during start trip and end trip vehicle check overs, maintenance/repair, cleaning and the collection/drop off of trailers and dollies.

Emergency vehicles, including fire trucks, have ample room to manoeuvre onsite if necessary.

#### **4.1.3 Services, Flooding and Stormwater Management**

The proposed use will be serviced by all standard urban infrastructure services for Tambo including a reticulated supply of water and on-site effluent management system, and reticulated supply of electricity and telecommunications. The site does not reside in an identified flood risk zone.

As it currently does, stormwater is to dissipate via overland flow toward the frontage and rear of the property without causing any adverse effects to the surrounding lots.

---

#### **4.1.4 Landscaping**

No major landscaping is proposed given the natural composition of the site and the lack of a concrete-dominated landscape. Shade will be provided by the sheds and existing trees onsite. The existing trees onsite are to remain. No clearing is proposed.

Fencing is compliant with council height requirements. General positioning and the visual amenity of which does not detract from the overall aesthetics of the area. The exact material composition of the fence is wire, star pickets and steel bracing posts at the corners.

## 5.0 Development Assessment

### 5.1 Level of Assessment & Strategic Framework

As stated in Section 1, the proposed development is Code Assessable, as determined in accordance with Part 4 – Tables of Assessment, 4.4 - Categories of Development and Categories of Assessment – Material Change of Use, Table 4.4.1 – Township Zone of the Blackall-Tambo Region Planning Scheme.

As such, an assessment of the proposed development in relation to the Strategic Framework of the Blackall-Tambo Region Planning Scheme is not necessary.

### 5.2 Township Zone Code

The subject site is situated within the Township Zone, and the purpose and overall outcomes of the zone, as stipulated in accordance with Part 5 – Zones, 5.2 – Zone Codes, 5.2.1 – Township Zone Code of the Blackall-Tambo Region Planning Scheme, are described and commented on below (only those relevant to this development application).

#### 5.2.1 Purpose statement

*The purpose of the Township zone code is to provide for:*

- (1) small to medium urban areas in a rural area; and*
- (2) a variety of uses and activities to service local residents, including, business, community, education, industrial, open space, recreation, residential or retail uses or activities; and*
- (3) tourist attractions and short-term accommodation, if appropriate for the area.*

#### 5.2.1.2 Overall outcomes

*The purpose of the code will be achieved through the following overall outcomes:*

- (1) A range of residential, retail, commercial, industrial, administrative or cultural uses are provided.*
- (2) A range of residential dwelling types and densities that reflect local housing needs are provided.*
- (3) Development promotes safe, convenient and attractive living environments for residents.*
- (4) Development protects and enhances the local or historic character of a town.*
- (5) Existing heritage and character buildings are to be retained and new business is encouraged to use these buildings (if vacant) to help keep the town centre consistent with the historic amenity of the township.*
- (6) Commercial and retail development are encouraged to locate in the Commercial precinct.*
- (7) Industrial development appropriate for a township setting are located in the Industrial precinct or Mixed Use precinct. Blackall-Tambo Region Planning Scheme | Page 37*
- (8) Development serves the needs of local residents, residents of the surrounding area and visitors.*

- (9) Development is designed to maximise energy efficiency, water conservation and public and active transport use.  
(10) Development has access to infrastructure and essential services.  
(11) The location and type of industrial development is carefully considered to mitigate impacts on sensitive land uses.  
(12) Natural features such as creeks, gullies, waterways, wetlands, habitats, vegetation and bushland are retained and enhanced and any unavoidable impacts are minimised through locational, design, operational and management approaches.  
(13) Development responds to land constraints including topography, bushfire and flooding.

**Industrial precinct**

The purpose of the zone will also be achieved through the following additional overall outcomes for the Industrial precinct:

- (19) This precinct enables the establishment of a wide range of industrial activities in a manner compatible with the scale and character of the area.  
(20) Industrial activities are established and consolidated in this precinct to minimise potential conflict with nearby sensitive land uses.  
(21) Industrial activities manage impacts to maintain acceptable levels of safety and amenity for sensitive land uses.  
(22) The location of industrial development does not compromise the safety or efficiency of the local and state-controlled road network.

Comment:

This application seeks approval for a Development Permit for Material Change of Use of Premises to establish a Transport Depot. It is acknowledged that the proposed use is envisaged for the *Township Zone – Industrial Precinct*. The proposal is in the proximity of the nearby industrial developments. Therefore, it is considered that the proposed Transport Depot is in keeping with the established character of the surrounding neighbourhood. The Proposed Development complies with items 19 to 22 outlined above in the *Purpose and Overall Outcomes of the Township Zone – Industrial Precinct*.

The Transport Depot development will allow for the expansion of a key industry in the Tambo Transport industry. Further, the proposed development is located off Davidson Road which has local road network linkages with the Dawson Development Road, which is a major road within the township of Tambo.

The Proposed Development will have no adverse impact on the amenity of surrounding properties. The Proposed Transport Depot will have standard hours of operation consistent with the use, on-site parking is provided, and will not produce excessive noise, odours, or waste products.

### **5.3 Code Assessment**

In accordance with Part 4 – Tables of Assessment, 4.4 - Categories of Development and Categories of Assessment – Material Change of Use, Table 4.4.1 – Township Zone of the Blackall-Tambo Region Planning Scheme, the application is 'code assessable'. The following codes are applicable to a development of this nature:

- Township Zone Code; and
- General Development Code.

Comment regarding the *Township Zone Code* is provided above at **Section 5.2** of this report, whilst an assessment of the General Development Code has been undertaken by Murray & Associates (Qld) Pty Ltd and is included at **Appendix F** of this report.

### **5.4 Overlays**

The subject site is not impacted by any overlays in accordance with the overlay mapping of the Blackall-Tambo Region Planning Scheme.

For proof, the Blackall-Tambo Region Planning Scheme Online Interactive Mapping is available at:

<https://dsdip.maps.arcgis.com/apps/webappviewer/index.html?id=a207eaa0320e4f33acd53117e1935bdd%0d>



## 6.0 State Planning Matters

### 6.1 Referral for Matters of State Interest

The Planning Act 2016 and the Planning Regulation 2017 provide the legislative framework within Queensland for authorities (Local and State Government) to assess development applications. Matters that require assessment may be delegated to the Department of State Development, Manufacturing, Infrastructure and Planning (DSDMIP) for assessment by the State Assessment and Referral Agency (SARA). Following a review of the SARA DA Online Mapping System, it is determined that the application does require referral against State Code 6: Protection of state transport networks, given the proximity of the development to the Dawson Developmental Road (state-controlled).

An assessment of State Code 6 has been undertaken by Murray & Associates (Qld) Pty Ltd (see **Appendix G**). Within the State Code 6 assessment it was identified that only PO1 to PO14 are relevant to the current proposal. As PO15 to PO23 refer to planned network upgrades and public transport services, of which neither are proposed.

The subject site is also identified as consisting of 'Category A or B area that is a least concern regional ecosystem' as per the QLD Government's Online Development Assessment Mapping System. The proposed development proposed no changes to the existing landscaping of the subject site and as such, no adverse impacts are placed upon vegetation of state interest and no assessment against vegetation related state codes are required.

## 7.0 Conclusions and Recommendations

This application provides justification for approval for a Development Permit for Material Change of Use of Premises for a Transport Depot, involving land described as Lot 17 on SP148104, situated at Davidson Road, Tambo, Qld, 4478, on the following grounds:

- The proposed development provides a suitable industrial use on land within proximity to nearby non-residential uses;
- The subject site can be serviced by all necessary urban infrastructure services;
- Non-worsening of the current situation will be achieved with regard to stormwater;
- Appropriate access is available to the site with safe circulation possible and emergency vehicles can be manoeuvred on site;
- The proposed development is consistent with the surrounding built form and has convenient access to the Davidson Road and the greater road network; and
- The proposal is compliant with the relevant planning provisions of the Blackall-Tambo Region Planning Scheme.

Thus, on behalf of Longhorn Transport Pty Ltd, it is recommended that Council issue approval for a Development Permit for Material Change of Use of Premises for a Transport Depot, involving land described as Lot 17 on SP148104, situated at Davidson Road, Tambo, Qld, 4478.



**Current Title Searches**

Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b> 50418947	<b>Search Date:</b> 24/07/2023 09:49
<b>Date Title Created:</b> 09/12/2002	<b>Request No:</b> 45136299
<b>Previous Title:</b> 50373981	

#### ESTATE AND LAND

Estate in Fee Simple

LOT 17 SURVEY PLAN 148104

Local Government: BLACKALL TAMBO

#### REGISTERED OWNER

Dealing No: 720597613 18/02/2021

LONGHORN TRANSPORT PTY LTD A.C.N. 108 040 320

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 40027849 (Lot 6 on SP 136846)

#### ADMINISTRATIVE ADVICES

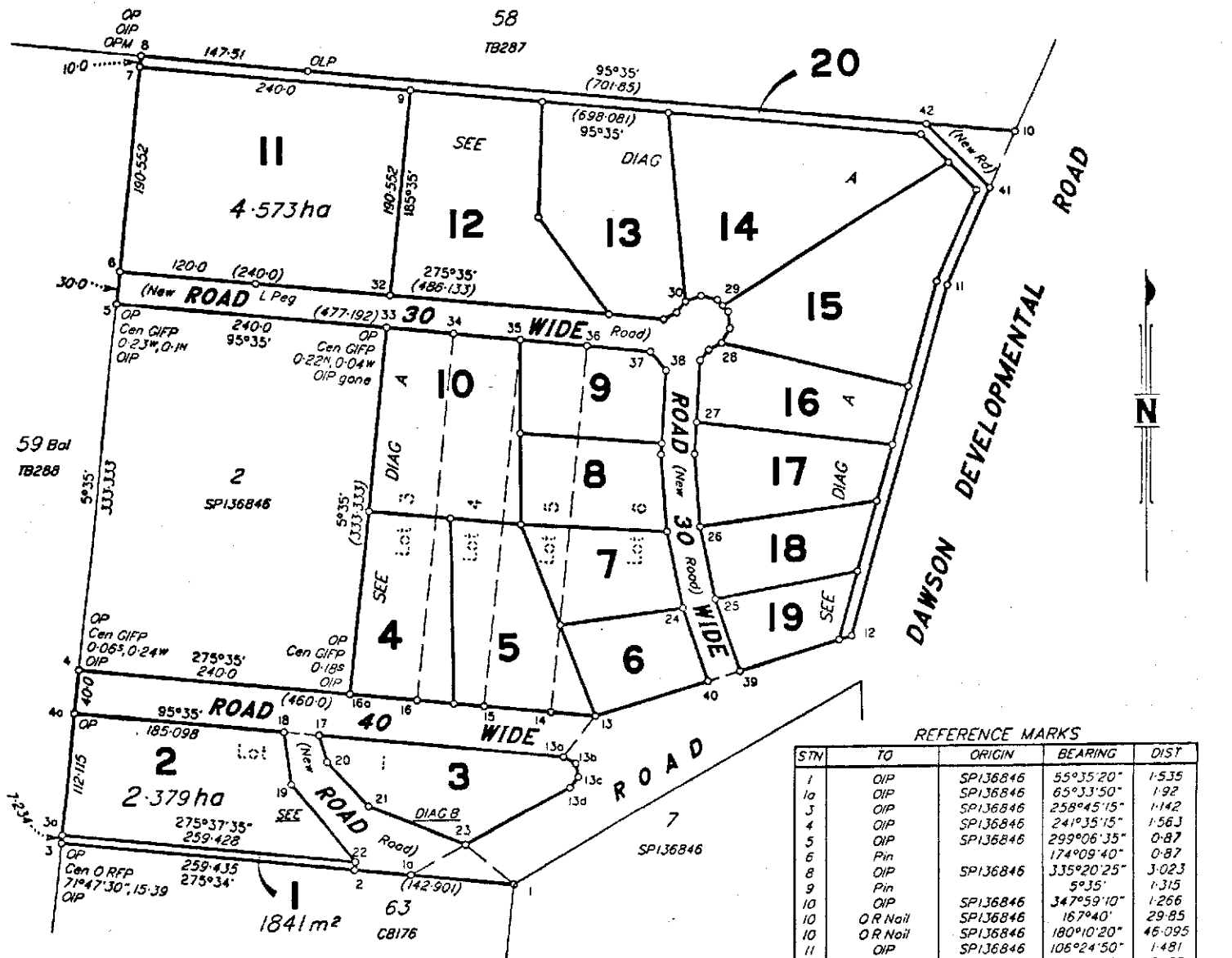
NIL

#### UNREGISTERED DEALINGS

NIL

\*\* End of Current Title Search \*\*

**Survey Plans and SmartMap**



REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	OIP	SPI36846	55°35'20"	1.535
1a	OIP	SPI36846	65°33'50"	1.92
3	OIP	SPI36846	258°45'15"	1.142
4	OIP	SPI36846	241°35'15"	1.563
5	OIP	SPI36846	299°06'35"	0.87
6	Pin		174°09'40"	0.87
8	OIP	SPI36846	335°20'25"	3.023
9	Pin		5°35'	1.315
10	OIP	SPI36846	347°59'10"	1.266
10	OR Nail	SPI36846	167°40'	29.85
10	OR Nail	SPI36846	180°10'20"	46.095
11	OIP	SPI36846	106°24'50"	1.481
11	OR Nail	SPI36846	47°22'40"	61.08
12	OIP	SPI36846	124°02'50"	5.11
12	OR Nail	SPI36846	94°23'50"	48.205
13a	OIP	5/SPI52737	18°48'	1.345
13d	OIP	8/SPI52737	172°33'	0.98
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15	OIP gone	SPI36846	134°43'20"	1.145
16	OIP	SPI36846	85°45'45"	0.95
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19	Pin		127°30'	1.0
20	Pin		224°16'	0.85
22	Pin		328°12'	0.98
24	Pin		75°23'	0.84
25	Pin		205°53'	0.75
26	Pin		264°45'	0.99
27	Pin		215°42'	1.14
28	Pin		4°37'	1.04
30	Pin		62°39'	0.92
31	Pin		237°42'	0.845
32	Pin		182°03'30"	1.07
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34	OIP	SPI36846	53°50'	1.15
35	OIP	SPI36846	322°11'50"	1.22
36	OIP	SPI36846	290°34'	1.232
37	Pin		50°50'	0.94
38	Pin		115°17'	1.05

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO
8-OPM	1/SPI52737	191°47'45"	9.296	147429
13a-OPM	5/SPI52737	204°58'30"	6.67	147428

Area of New Road

(1a-2-17-18-23-1a) ..... 7544m<sup>2</sup>  
 (39-40-38-37-5-6-29-39) ..... 2.612 ha  
 (10-41-42-10) ..... 0.2146 ha  
 Total ..... 3.581 ha

Peg placed at all new corners  
unless otherwise shown

50 0 50 100 150 200 250 300 350 400 450 500 550m

Plan of Lots 1-20

Cancelling Lots 3-6 on SPI36846 & Lot 1 on SPI52737

Scale: 1:4000  
Format: STANDARD



Plan Status:

I, Anthony Joseph HOFFMANN, hereby certify that I have surveyed the land comprised in this plan by Sunil Kumar GOVIND Licensed Surveyor for whose work I accept responsibility, that the plan is accurate, that the said survey was performed in accordance with the Surveyors Act 1977 and the Surveyors Regulation 1992 and that the said survey was completed on 18/5/2002.

*A. J. Hoffmann*  
Licensed Surveyor

Date 18.6.02

PARISH: TAMBO

COUNTY: Tambo

Meridon: AMG vide SPI36846

F/N's: No

A.J. & M.K. HOFFMANN PTY LTD - 2863

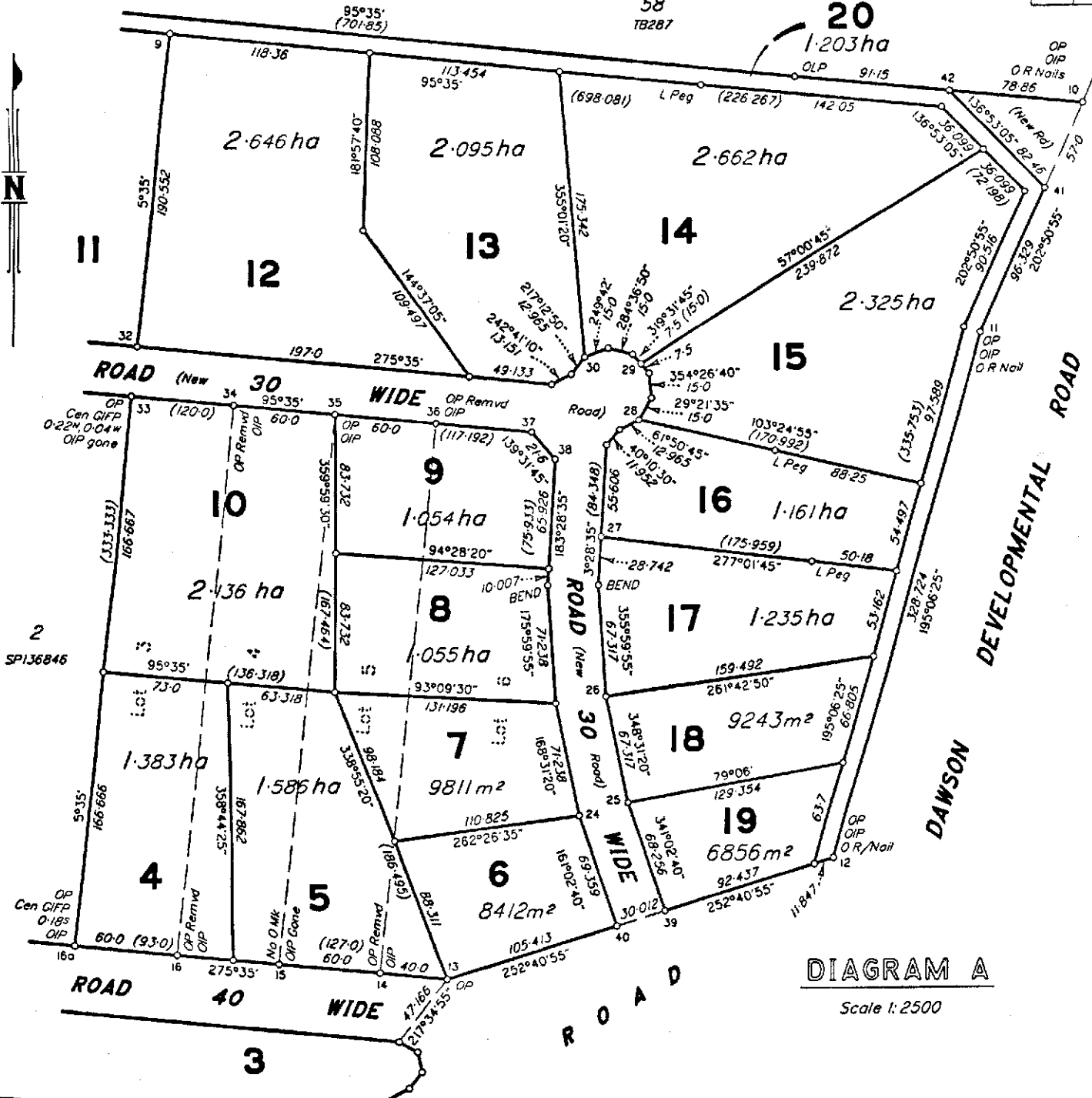


DIAGRAM A

Scale 1: 2500

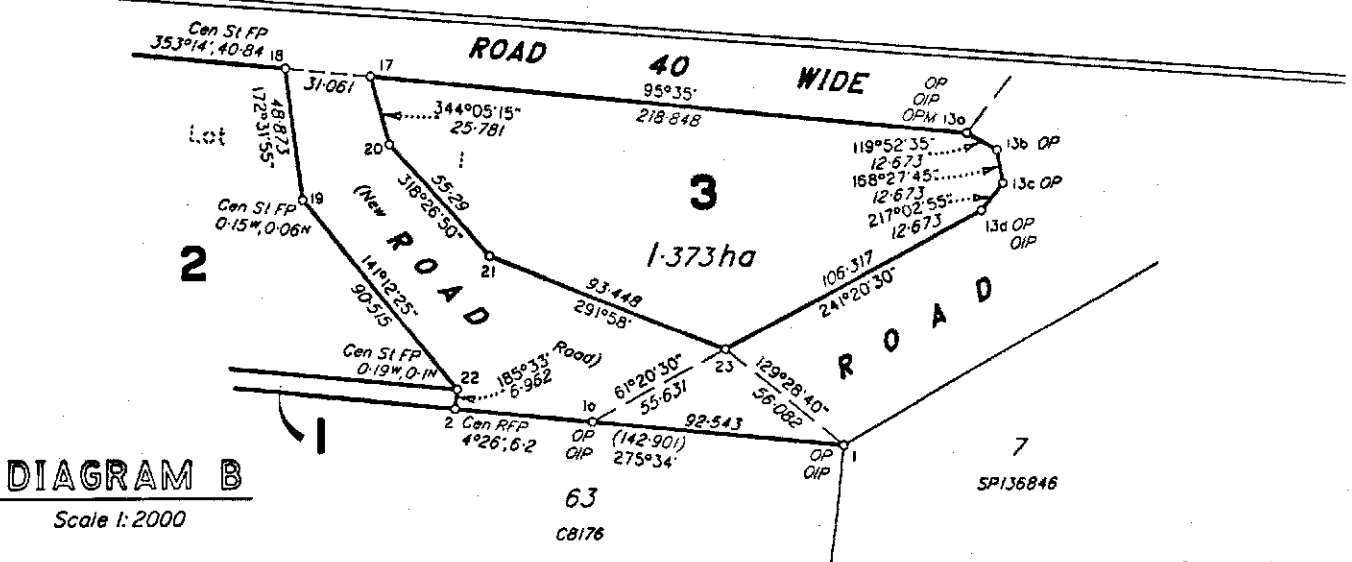
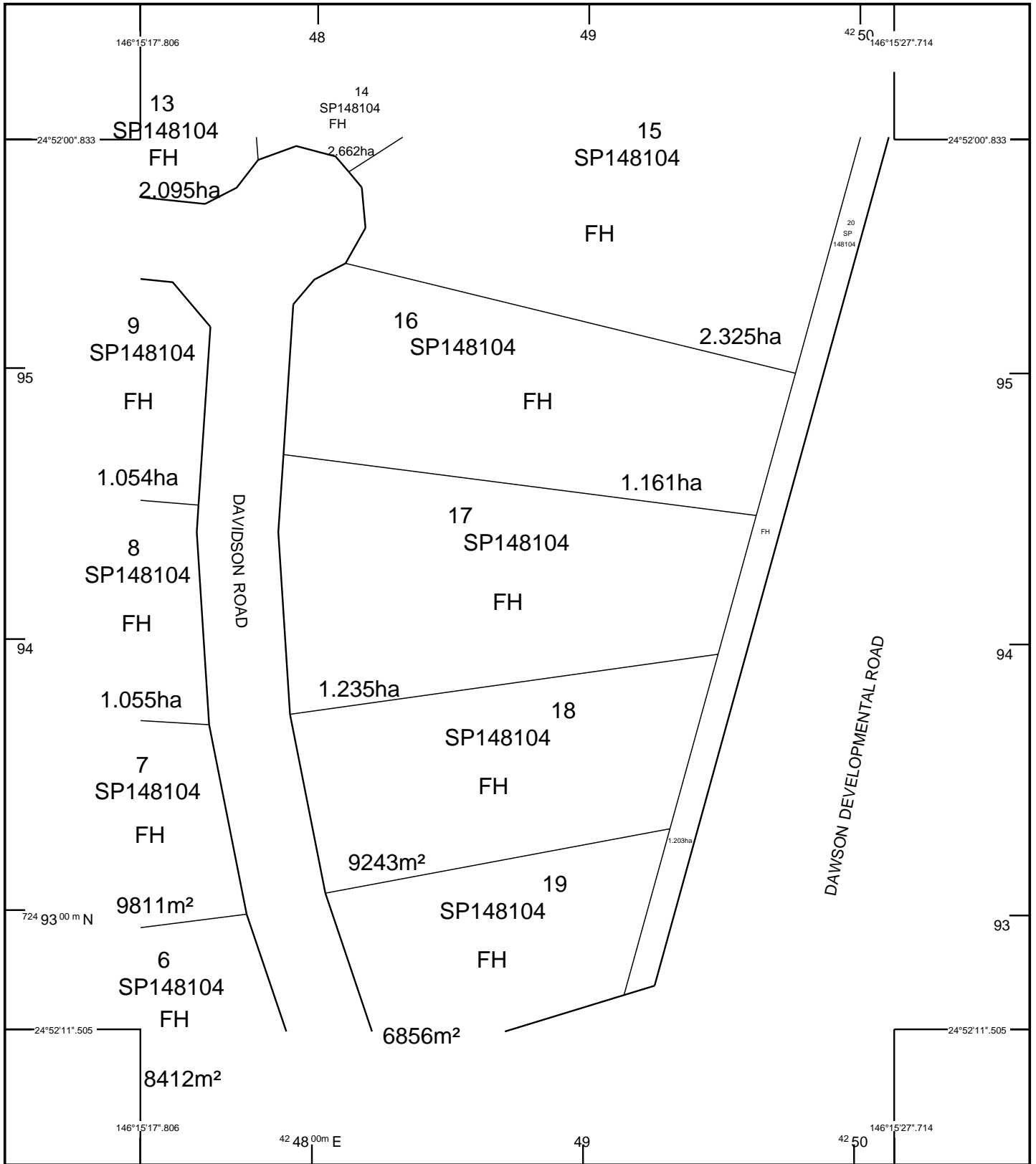


DIAGRAM B

Scale 1: 2000

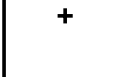


STANDARD MAP NUMBER  
8148-24333



MAP WINDOW POSITION &  
NEAREST LOCATION

146°15'22".760  
24°52'06".169  
TAMBO  
1.81 KM



SUBJECT PARCEL DESCRIPTION

DCDB	17/SP148104
Lot/Plan	17/SP148104
Area/Volume	1.235ha
Tenure	FREEHOLD
Local Government	BLACKALL TAMBO REGIONAL
Locality	TAMBO
Segment/Parcel	47116/684

CLIENT SERVICE STANDARDS

PRINTED 24/07/2023
DCDB 22/07/2023
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For further information on SmartMap products visit <a href="https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps">https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps</a>

**SmartMap**

An External Product of  
SmartMap Information Services

Based upon an extraction from the  
Digital Cadastral Data Base



**Queensland  
Government**

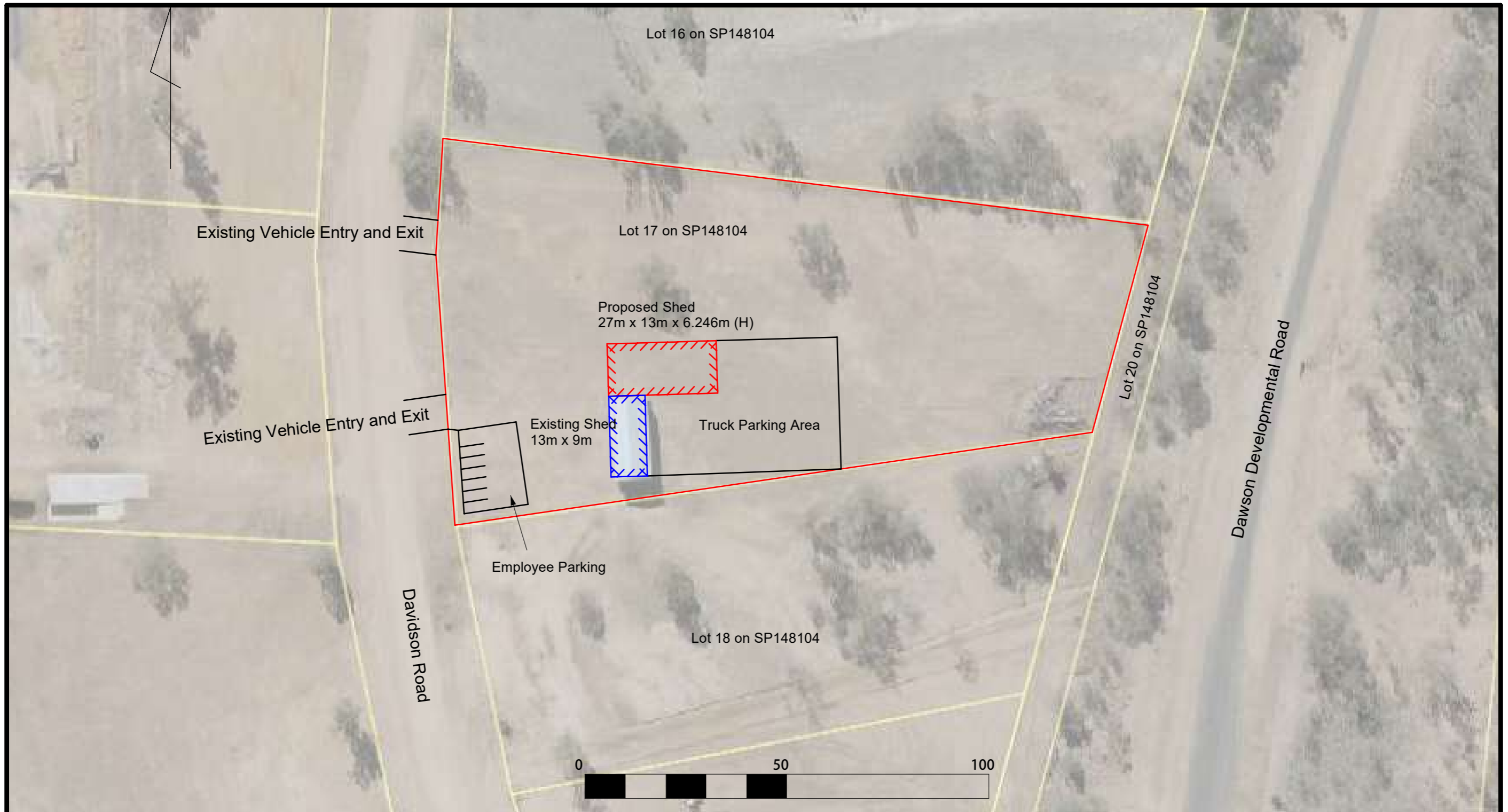
(c) The State of Queensland,  
(Department of Resources) 2023.





## **Plan of Development**

Prepared by Murray & Associates (Qld) Pty Ltd



**MURRAY &  
ASSOCIATES**

SURVEYORS & TOWN PLANNERS



ACN 075 543 154

Murray Building, 15-17 Currie St. Nambour Ph. (07)5441 2188 P.O. Box 246  
Branch Offices at Maroochydore Caboolture Chinchilla Roma Gympie & Emerald

**PROJECT**

**Proposed Transport Depot  
Lot 17 on SP148104  
Lot 17 Davidson Road,  
Tambo  
L.G.A. Blackall Tambo  
Regional Council**

**CLIENT**

**Longhorn Transport Pty Ltd**

Datum	MGA Zone 55	Scale	A3 1:1000	F.W.	Date
		Drawn	ARB	F.Bk	18/07/23
Notes				Level Bk	File
				Acc. Bk	400632
Registered Surveyor	<b>ABELL</b>				Job & Plan No.
					400632



**Existing Shed Approval**

## DEVELOPMENT APPLICATION DECISION NOTICE

*Sustainable Planning Act 2009*

**GBA Building Certification**  
**Issued on behalf of** Blackall Tambo Regional Council

Contact Officer: Jason Burger  
 Telephone: (07) 4651 2177  
 Mobile: 0427 511 540

<b>Applicants Name/s</b>	Graham Jarvis Carpentry	<b>Owners Name/s</b>	J & L Turner
<b>Applicants Address</b>	42 Edward Street Tambo Qld 4478	<b>Owners Address</b>	PO Box 83 Tambo Qld 4478

<b>Application No</b>	04 34 13	
<b>Real Property Description</b>	Lot 17 on SP 148104	<i>BOQ</i>
<b>Property Location</b>	Lot 17 Davidson Street, Qld 4478	<i>BSB 124962</i>
<b>Class</b>	7b	<i>Acc. 21870779</i>
<b>Proposal Details</b>	Store Shed	
<b>Development Type</b>	Building Work	
<b>Approval Type</b>	Development Permit	

I wish to advise that, on 13 February 2014 the above application was

- Approved in full with conditions.  
*(The conditions of this approval are set out in the General and Special Building Permit Conditions).*
- Refused

This approval is for the development stated above and does not imply approval for any other construction.

Required Building Inspections:	Required Certificates:	
<input checked="" type="checkbox"/> Footing	<input checked="" type="checkbox"/> by Building Certifier <input type="checkbox"/> by RPEQ	<input type="checkbox"/> Glazing (windows & doors)
<input type="checkbox"/> Slab	<input type="checkbox"/> by Building Certifier <input type="checkbox"/> by RPEQ	<input type="checkbox"/> Mechanical
<input checked="" type="checkbox"/> Frame	<input checked="" type="checkbox"/> by Building Certifier <input type="checkbox"/> by RPEQ	<input type="checkbox"/> Pavement
<input type="checkbox"/> Firewall	<input type="checkbox"/> by Building Certifier <input type="checkbox"/> by RPEQ	<input type="checkbox"/> Pavement Hydraulics
<input type="checkbox"/> Passive Fire Separation	<input type="checkbox"/> by Building Certifier <input type="checkbox"/> by RPEQ	<input type="checkbox"/>
<input checked="" type="checkbox"/> Roofwater	<input checked="" type="checkbox"/> by Building Certifier <input type="checkbox"/> by RPEQ	<input type="checkbox"/> Roofwater Hydraulics
<input type="checkbox"/> Blockwork	<input type="checkbox"/> by Building Certifier <input type="checkbox"/> by RPEQ	<input type="checkbox"/> Smoke Alarm
<input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> by Building Certifier <input type="checkbox"/> by RPEQ	<input type="checkbox"/> Smoke Exhaust
	<input type="checkbox"/> Airconditioning	<input type="checkbox"/> Slab
	<input type="checkbox"/> Blockwork	<input type="checkbox"/> Survey
	<input type="checkbox"/> Electrical	<input type="checkbox"/> Termite Barrier
	<input type="checkbox"/> Emergency Lighting	<input type="checkbox"/> Termite Declaration
	<input type="checkbox"/> Fire Alarm	<input type="checkbox"/> Wet Area Sealing
	<input type="checkbox"/> Fire Extinguisher	
	<input type="checkbox"/> Fire Hose Reel	
	<input type="checkbox"/> Fire Hydrant	
	<input type="checkbox"/> Fire Main	
	<input type="checkbox"/> Fire Separation	
	<input type="checkbox"/> Fire Sprinklers	
	<input type="checkbox"/> Footing	
	<input type="checkbox"/> Frame	
	<input type="checkbox"/> Glazing (shower screens)	

**Note:** Footing and slab inspections must be undertaken prior to the placement/pouring of concrete. These inspections are compulsory. Failure to have this work inspected constitutes a breach of the Building Regulation 2006 and the Certifier is required by legislation in some cases to notify the QBCC that the work was carried out without an inspection being requested.

Inspections are available from Monday to Friday and are to be arranged at an agreed time. Inspections outside the normal hours are available subject to prior arrangement. To assist in a prompt inspection service by the Building Certifier, a minimum of **48 hours' notice** is required for all inspections. Building inspections can be arranged by telephoning (07) 4651 2177.

<p><b><u>Building and Plumbing Legislation</u></b></p> <p>Compliance with the requirements of the -</p> <ul style="list-style-type: none"> <li>• Sustainable Planning Act 2009</li> <li>• Building Act 1975</li> <li>• National Construction Code (NCC) Volume 1-3</li> <li>• Building Regulation 2006</li> <li>• Plumbing and Drainage Standard A.S. 3500</li> <li>• Local laws</li> <li>• Local Government Planning Scheme</li> <li>• General and Special Building Permit Conditions (attached), and</li> <li>• all other relevant Acts and Australian Standards</li> </ul>	<p><b><u>Environmental Protection Act &amp; Environmental Protection (Water) Policy</u></b></p> <p><i>There is a duty under this legislation for the builder and the owner to take all reasonable and practical measures to minimise or prevent environmental harm including discharge of sediment or building wastes to stormwater.</i></p> <p><i>Advice and information may also be obtained from the Department of Environment and Heritage Protection. (Advice only)</i></p>
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**This Development Approval takes effect:**

- from the time the decision notice is given, if there is no submitter and the applicant does not appeal the decision to the court, or
- when the submitter's appeal period ends, if there is a submitter and the applicant does not appeal the decision to the court, or
- subject to the decision of the court, when the appeal is finally decided, if an appeal is made to the court.

**Approval Lapsing Period**

The approval period lapses as stated in section 341 of the *Sustainable Planning Act 2009* if the development does not substantially start within 2 years starting the day the approval takes effect or otherwise stated.

**Codes to comply with for self-assessable development related to the development approved:**

- Relevant Town Planning Code/s

**Referral/Concurrence Agencies**

Type	Name of referral agency	Address

**Submissions**

Name of principal submitter	Address



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## **Appeal Rights**

Below is an extract from the *Sustainable Planning Act 2009* which details your appeal rights and the appeal rights of any submitters regarding this decision.

### **461 Appeals by applicants**

1. An applicant for a development application may appeal to the court against any of the following—
  - (a) the refusal, or the refusal in part, of a development application;
  - (b) a matter stated in a development approval, including any condition applying to the development, and the identification of a code under section 242;
  - (c) the decision to give a preliminary approval when a development permit was applied for;
  - (d) the length of a period mentioned in section 341;
  - (e) a deemed refusal of the development application.
2. An appeal under subsection (1) (a) to (d) must be started within 20 business days (the **“applicant’s appeal period”**) after the day the decision notice or negotiated decision notice is given to the applicant.
3. An appeal under subsection (1) (e) may be started at any time after the last day a decision on the matter should have been made.

### **462 Appeals by submitters—general**

1. A submitter for a development application may appeal to the court only against -
  - (a) the part of the approval relating to the assessment manager’s decision about any part of the application requiring impact assessment under section 314; or
  - (b) the part of the approval relating to the assessment manager’s decision under section 327.
2. To the extent an appeal may be made under subsection (1), the appeal may be against 1 or more of the following -
  - (a) the giving of a development approval;
  - (b) any provision of the approval including -
  - (c) a condition of, or lack of condition for, the approval; or
  - (d) the length of a period mentioned in section 341 for the approval.
3. However, a submitter may not appeal if the submitter -
  - (a) withdraws the submission before the application is decided; or
  - (b) has given the assessment manager a notice under section 339(1) (b) (ii).
4. The appeal must be started within 20 business days (the **submitter’s appeal period**) after the decision notice or negotiated decision notice is given to the submitter.

### **481 How appeals to the court are started**

1. An appeal is started by lodging written notice of appeal with the registrar of the court.
2. The notice of appeal must state the grounds of the appeal.
3. The person starting the appeal must also comply with the rules of the court applying to the appeal.
4. However, the court may hear and decide an appeal even if the person has not complied with subsection (3).



## **GENERAL BUILDING PERMIT CONDITIONS**

(Where applicable with the National Construction Code, Regulations & Standards)

### **Siting Requirements**

1. The property owner shall be responsible for ensuring that the property boundary shown on the approved plans is true and correct and that all building works, site works and drainage are maintained within the allotment boundary.
2. The site may be required to be surveyed if no existing survey pegs are available or a surveyor's declaration certifying that the survey pegs have been reinstated shall be submitted to the Building Certifier prior to commencement of the building work.
3. Unless specifically approved by Council and the owner of the subject adjoining land, the development shall be designed and constructed such that no ponding or redirection of stormwater occurs on adjoining lands.
4. All stormwater flows from upstream areas and adjacent to the development site shall be catered for through the site and shall be discharged at a point and in a manner acceptable to Council.
5. All works required for this development shall take due regard of any and all existing services and, if considered necessary by the relevant authority or Council's Development Manager, such works shall be altered at the cost of the Developer.
6. Schedule 1 of the Building Regulation 2006 deems cut or fill adjacent to boundaries to be self-assessable in some instances. Retaining walls with no surcharge loadings if the total finished height of the wall, or the total height of the fill or cut retained is not more than 1.0m above the adjoining ground level and the wall is no closer than 1.5m to a building or another retaining wall. (Retention of cut and fill that does not comply with the pre mentioned shall be retained by engineer designed pre-approved structures).
7. Owners and/or builders shall locate services, sewerage pipes and stormwater pipes which traverse the subject site and exist on the frontage, prior to the commencement of excavations on the site. Alterations to fire hydrants, valves, street gully traps and pits, stormwater and sewerage manholes, due to changing ground levels or concreting around, shall be carried out by Council at the owner's expense.

*Note: Refer to Special Building Permit Conditions for any additional conditions relating to this Decision Notice.*

### **Termite Management Requirements**

The primary building elements of the proposed/existing buildings shall be protected against termite attack in accordance with the National Construction Code. The builder shall advise the owner of the termite method used on the project and the necessary maintenance requirements.

Durable notices shall be permanently fixed to the building in prominent locations, such as the meter box and inside the kitchen cupboards. The durable notices shall indicate the method of protection; the date of installation of the system; where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label, together with the replenishment requirements; and the need to maintain and inspect the system on a regular basis.

*Note: Where either a reticulated or hand sprayed chemical is used to protect the perimeter of a building, the barrier must be installed by excavating trenches, treating the exposed trench and backfilling the trench with treated material and protected by a 50mm thick concrete cover strip not less than 300mm wide measured from the external wall of the building.*

Where an inspection zone of 75mm is required to the perimeter of a building, external attachments (such as downpipes, plumbing surrounds etc) that are constructed over the inspection zone, must be sufficiently clear of the external wall to facilitate a clear inspection area (minimum distance of 25mm). Wider fixtures may require a greater distance.

## **GENERAL BUILDING PERMIT CONDITIONS**

(Where applicable with the National Construction Code, Regulations & Standards)

### **Plumbing Requirements**

Unless otherwise specified, roofwater shall be piped to the street. Where roofwater is piped to the kerb and channel, an approved adaptor should be used for the kerb connection.

If not possible, it may be piped to a 1m<sup>3</sup> rubble pit fitted with a surcharge grate located in a position as far as practicable from downstream property owners and sufficiently away from the structure, not to cause structural damage to the building. Rubble pits should be increased in volume equitable to the roof area being served.

*Note: If inter-allotment drainage is provided, the roof and site drainage must be connected to that system.*

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**Refer to Special Building Permit Conditions  
for any additional conditions relating to this Decision Notice**



## SPECIAL BUILDING PERMIT CONDITIONS

### Building Conditions

1. The building shall not be occupied until satisfactory final inspections have been carried out and clearances have been issued by the Building Certifier and the Certificate of Classification has been issued.
2. Excavations for footings and slabs, including internal and edge beams shall be founded onto firm natural soil.
3. Drainage provision to be made to protect land, building and structures in the neighbourhood as per Section 76 of the Building Act 1975.
4. It has been considered due to the nature of the works associated with the storage of trucks and large machinery it would be unsafe to have people with disabilities within the shed.  
**Please Note:** If an office is placed on site or the nature of the business is changed a sanitary facility and access will be required to be provided for people with disabilities in accordance with all relevant codes and standards

### Fire Safety Requirements

1. Portable fire extinguishers shall be provided and installed not less than 1.0m and not more than 1.2m above the floor. A location sign in accordance with Figure 3.2 of Standard 2444 (Portable Fire Extinguishers – Selection and Location) shall be erected vertically above the extinguisher at a minimum height of 2m to lowest point, in accordance with Part E1.6 of the National Construction Code. This requirement is for general use protection.
2. Exit signs shall be provided in accordance with the National Construction Code, where indicated on the approved plans. Exit signs in paths of travel may require directional arrows to clearly define escape paths.

### Plumbing Requirements

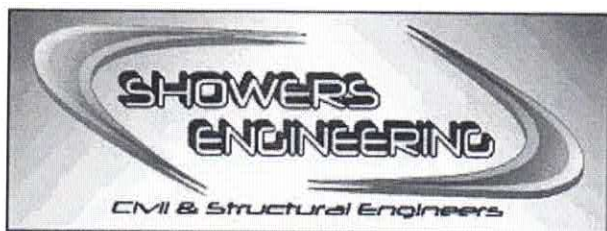
1. The contractor shall determine the exact location of all services, including sewerage, water supply, on-site sewerage facility, effluent land application area and stormwater drains, before commencing work.  
*Note: Building over Council sewer is forbidden without prior approval from Council and will negate the legality of this building approval.*
2. The proposed structure shall be clear of the onsite sewerage facility and effluent land application area in accordance with the standard sewerage law and its referenced standards.

### Approved Plans

The approved plans and / or documents for this development approval are listed in the following table.

Plan / Document Number	Plan / Document Name	Date
None	Site Plan- By Builder	None
Job No: 132587-2 to 9 (inclusive)	Construction Plans- Wide Span Sheds- Showers Engineering	20/09/13

  
.....  
Jason Burger  
Building Certifier  
A1010589



PO BOX 590,  
ROBINA, QLD 4226.  
PH: 07 5578 8088  
FAX: 07 5578 9429

20 September, 2013

To whom it may concern

*This certification is done in accordance with the purchaser of the building's advice that they have sought and obtained independent confirmation that the design criteria nominated below is appropriate for the site. Any approving authority should also confirm that the design criteria nominated below is appropriate for the site.*

The structural design of the steel building (as detailed in drawing 132587, see index below) for Turn Turn Pty Ltd to be built at Lot 17 Davidson Road TAMBO QLD Australia 4478 has been carried out by me using the Multiframe Structural Engineering Analysis Program.

The design has been done in accordance with the BCA:2013, AS/NZS 4600:2005, AS/NZS 1170.1:2002, AS/NZS 1170.2:2011, AS 4055:2006, AS 4100:1998, AS 2870:2011 and AS 3600:2009.

**Design Criteria:** Wind Region - A4; Building Class - 7; Importance Level of 2; Terrain Category of 2; Topographic Factor of 1; Shielding: None (1.0); Wind Directional Multiplier (Md) of 1.0; No allowance has been made for earthquake loading. No allowance has been made for snowload. Refer to attached Design Information Sheet for more details.

Drawing Number	Date	Description
Job 132587 - 2	20/09/2013	General Notes
Job 132587 - 3	20/09/2013	Layout
Job 132587 - 4	20/09/2013	Specification Sheet
Job 132587 - 5	20/09/2013	Bracing
Job 132587 - 6	20/09/2013	Concrete Piers
Job 132587 - 7	20/09/2013	Slab
Job 132587 - 8	20/09/2013	Connection Details
Job 132587 - 9	20/09/2013	Flashing Fixing Details

Signed

R. J. Showers  
for and on behalf of  
SHOWERS ENGINEERING PTY LTD  
(ACN 075 007 144)



## *Design Information Sheet*

### **Building Details**

Item	Design Value		
Building Description	Portal Design Steel Frame and Steel Clad Building		
Job Reference #	132587		
Site Address	Lot 17 Davidson Road TAMBO QLD 4478		
Building Classification	Class 7		
Effective Design Height	5.78m		
	Main Building	Left Leanto	Right Leanto
Length	20m	NA	NA
Bay size	5 evenly spaced	NA	NA
Span	9m	NA	NA
Roof Pitch	12 degrees	NA	NA

### **Pressure Coefficients**

Item	Design Value	Reference
Internal Pressure coefficient CPI	0.7	AS/NZS 1170.2 Clause 5.3
Windward Wall (External Across)	0.7	AS/NZS 1170.2 Table 5.2 (A)
Windward Rafter (External Across)	-0.92, -0.42	AS/NZS 1170.2 Table 5.3 (B)
Leeward Rafter (External Across)	-0.55	AS/NZS 1170.2 Table 5.3 (C)
Leeward Wall (External Across)	-0.3	AS/NZS 1170.2 Table 5.2 (B)
Side Wall (External Along)	-0.65	AS/NZS 1170.2 Table 5.2 (C)
Rafters (External Along)	-0.84, -0.37	AS/NZS 1170.2 Table 5.3 (A)
Local Pressures Applied	Yes	AS/NZS 1170.2 Table 5.6

### **Site Classification**

Item	Design Value	Reference
Wind Region	A4	AS/NZS 1170.2:2011 Fig 3.1 (A)
Importance Level	2	B.C.A
Annual Probability of Exceedance for Wind	1 in 500	B.C.A
Regional Wind Speed	45 m/s	AS/NZS 1170.2 Table 3.1
Wind Direction Multiplier (Md)	1	AS/NZS 1170.2 Clause 3.3
Terrain Category	2	AS/NZS 1170.2 Clause 4.2.1
Terrain Height Multiplier (Mz)	0.924	AS/NZS 1170.2:2011 Table 4.1 (A)
Shielding Multiplier (Ms)	1	AS/NZS 1170.2 Table 4.3
Topographic Multiplier (Mt)	1	AS/NZS 1170.2 Clause 4.4
Design Wind Speed	41.6 m/s	AS/NZS 1170.2 Clause 2.2
Regional Factor	NA	AS/NZS 1170.2 Clause 3.4
Snowload Factor	Nil	AS/NZS 1170.3
Seismic Factor (Z)	0	AS/NZS 1170.4:2007

## Form 15—Compliance Certificate for building Design or Specification

<p><b>NOTE</b></p>	<p>This is to be used for the purposes of section 10 of the <i>Building Act 1975</i> and/or section 46 of the <i>Building Regulation 2006</i>.</p> <p><b>RESTRICTION:</b> A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the QDC. A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.</p>
<p><b>1. Property description</b></p> <p>This section need only be completed if details of street address and property description are applicable EG. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot &amp; plan details (eg. SP / RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include no., street, suburb / locality &amp; postcode)</i></p> <p>Lot 17 Davidson Road TAMBO QLD Australia 4478</p> <p>Postcode</p> <p>Lot &amp; plan details <i>(attach list if necessary)</i></p> <p>In which local government area is the land situated?</p>
<p><b>2. Description of component/s certified</b></p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Steel framed building and foundations as described in drawings referenced Job# 132587</p>
<p><b>3. Basis of certification</b></p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.</p>	<p>As per attached letter for James Turner at Lot 17 Davidson Road, TAMBO, QLD, Australia, 4478 for job number 132587</p>

### LOCAL GOVERNMENT USE ONLY

Date received		Reference number/s	
---------------	--	--------------------	--





**4. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Covering letter of certification.	
Job 132587 - 2	General Notes
Job 132587 - 3	Layout
Job 132587 - 4	Specification Sheet
Job 132587 - 5	Bracing
Job 132587 - 6	Concrete Piers
Job 132587 - 7	Slab
Job 132587 - 8	Connection Details
Job 132587 - 9	Flashing Fixing Details

**5. Building certifier reference number**

Building certifier reference number

N/A

**6. Competent person details**

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications, or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name *(in full)*

Robert James Showers, Director

Company name *(if applicable)*Showers Engineering Pty Ltd  
(ACN 075007144)

Contact person

Robert Showers

Phone no. *business hours*

07 55788088

Mobile no.

0407 147 253

Fax No.

07 55789429

Email address

showeng@showeng.com

Postal address

PO BOX 590, Robina D.C, QLD.

Postcode 4226

Licence or registration number *(if applicable)*

RPEQ 1547

**7. Signature of competent person**

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

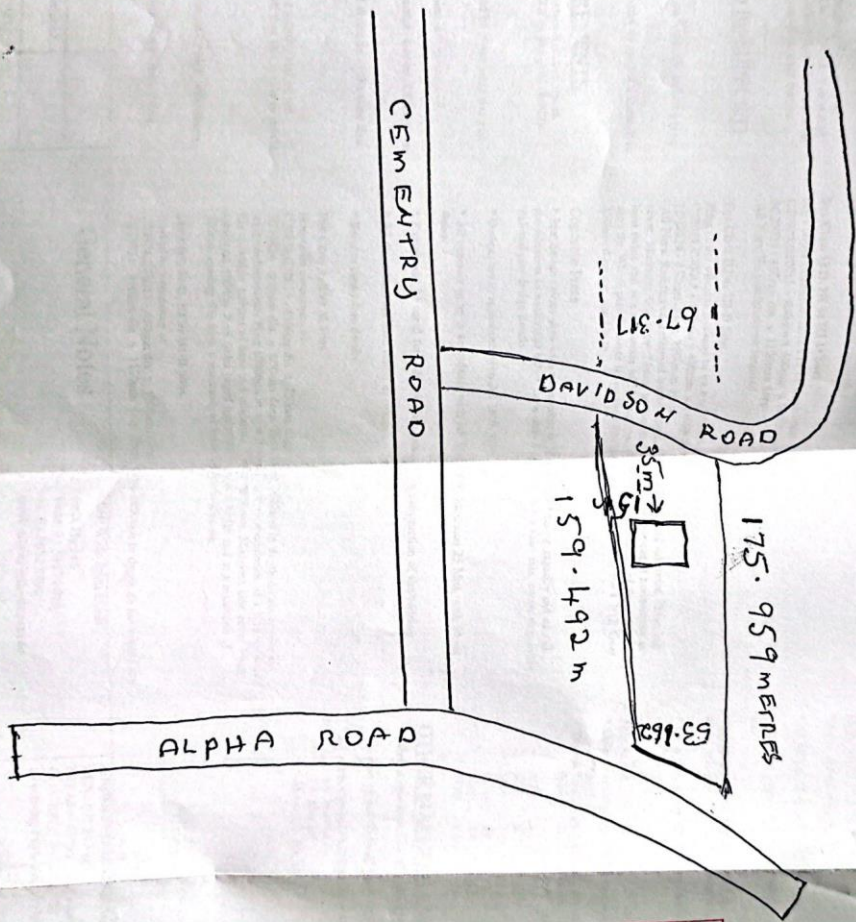


Date

20-9-2013



SITE PLAN  
JILL TURNER



Planning Council  
BUILDING CERTIFIERS  
APPLICATION NO. 013413  
BUILDING CERTIFIER: [Signature]  
ACCREDITATION NO. 1010589  
DATE APPROVED: 13/2/14

APPLICATION NO. 013413  
DEVELOPMENT APPROVAL FOR BUILDING  
WORK SHOWN ON THIS PLAN/DEVELOPMENT IS  
GRANTED PURSUANT TO THE QUEENSLAND  
BUILDING ACT 1975 AND SUBJECT TO THE  
CONDITION ATTACHED TO THE DECISION  
NOTICES

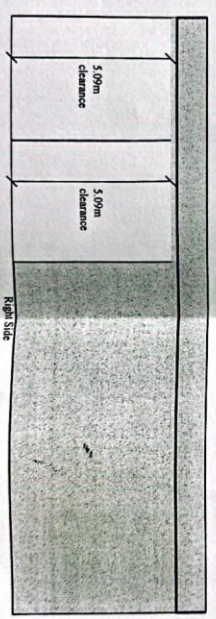
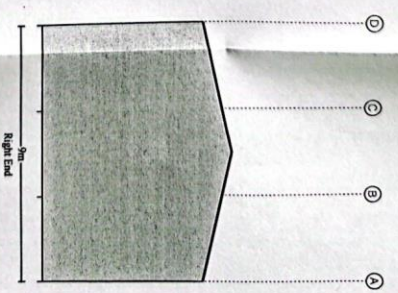
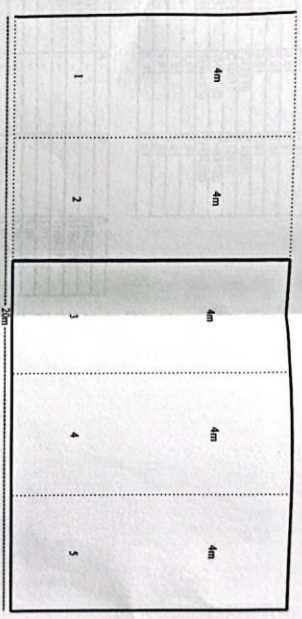
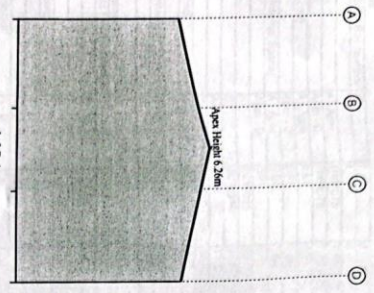
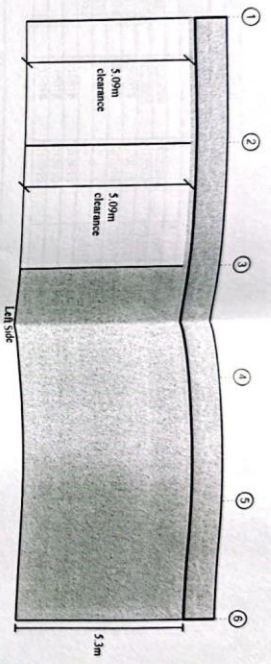
**OWNERS  
COPY**








0 4 3 4 1 3



### Layout

Purchaser Name: Turn Turn Pty Ltd  
 Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4478  
 Drawing # Job 132587 - 3  
 Print Date: 20/09/13

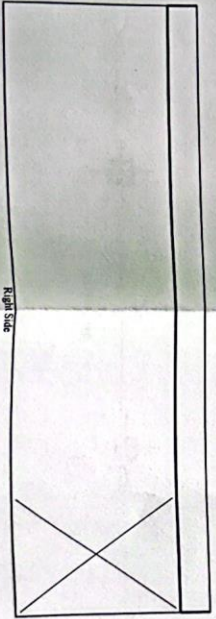
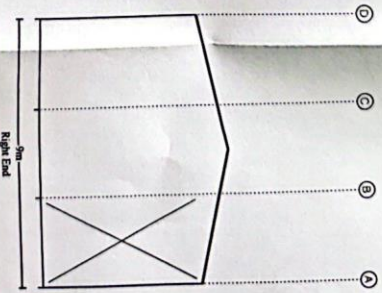
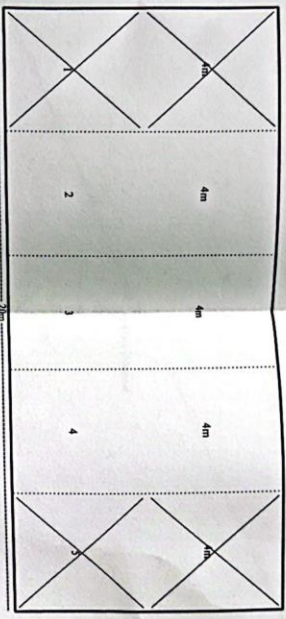
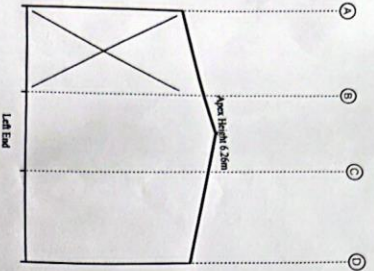
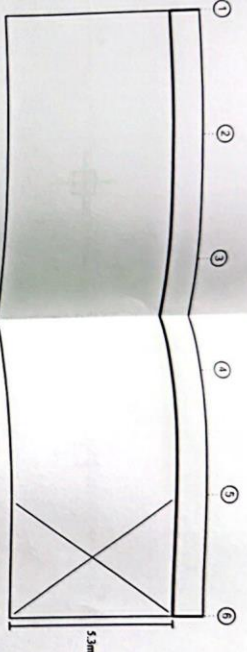
Seller: Wide Span Sheds  
 Sheik Pty Ltd  
 Phone: 07 5657 8888  
 Fax: 07 5657 8899  
 Email: admin@sheds.com.au

SHOWERS ENGINEERING PTY LTD  
 ACN : 075 007 144  
 MIE Aust. CP Eng. (Registered NPER Structural & Civil) 321787  
 QLD : RPEO No. 1547, VIC : EC24162, TAS : CC4600H, N.T. : 46926ES.  
 Practising Professional Structural & Civil Engineer  
 Signature:  R.J. Showers  
 Date: 20/09/13






043413



### Bracing

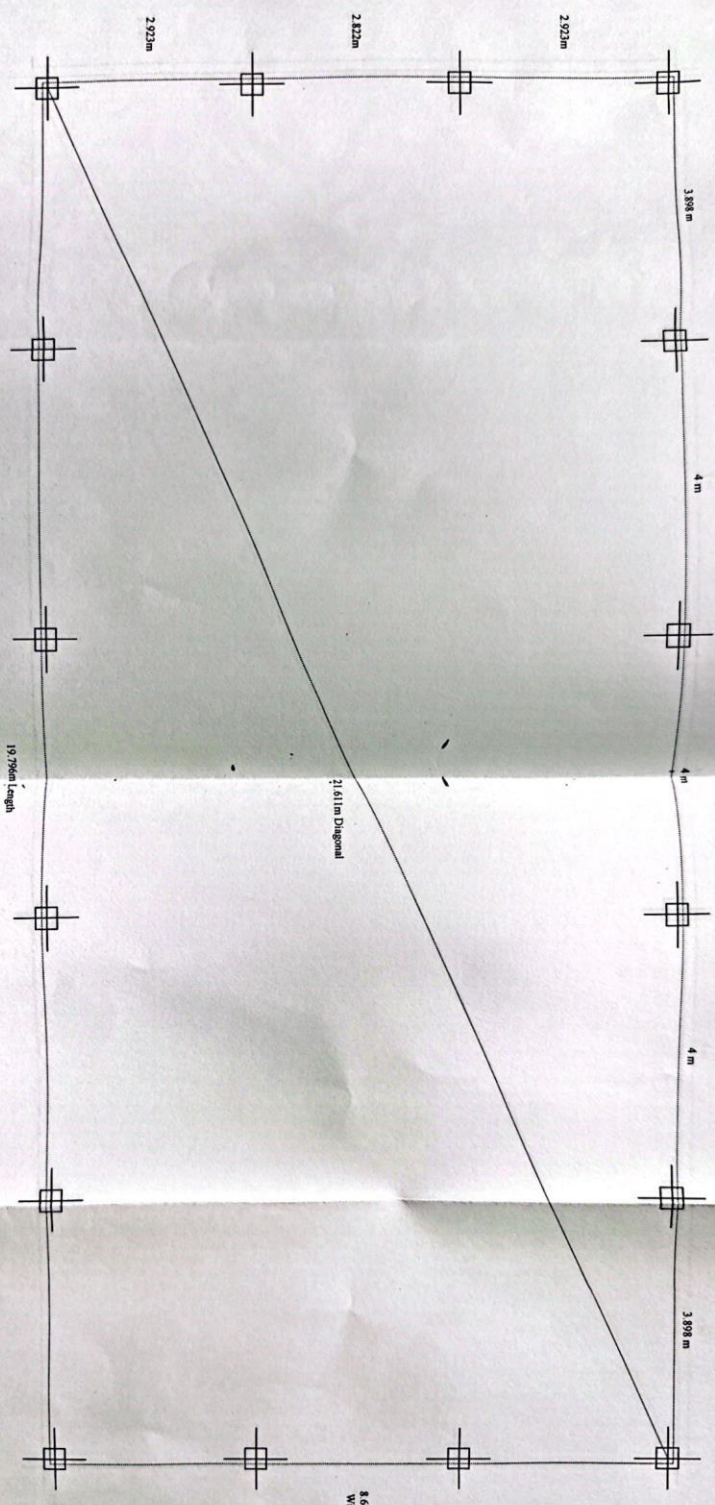
Purchaser Name: Tum Tum Pty Ltd  
 Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4478  
 Drawing # Job 13287 - 5  
 Print Date: 20/09/13

Seller: Wide Span Sheds  
 Sheik Pty Ltd  
 Phone: 07 5657 8888  
 Fax: 07 5657 8899  
 Email: admin@sheds.com.au

SHOWERS ENGINEERING PTY LTD  
 ACN : 075 007 144  
 MIE Aust. CPEng. (Registered NPER Structural & Civil) 321787  
 QLD : REPO No. 1547, VIC : EC24162, TAS : CC4600H, N.T. : 46926ES;  
 Practising Professional Structural & Civil Engineer  
 Signature:   
 R.J. Showers  
 Date: 20/09/13



043413



Purchaser Name: Tun Tun Pty Ltd  
 Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4478  
 Drawing # Job 13287 - 6  
 Print Date: 20/09/13

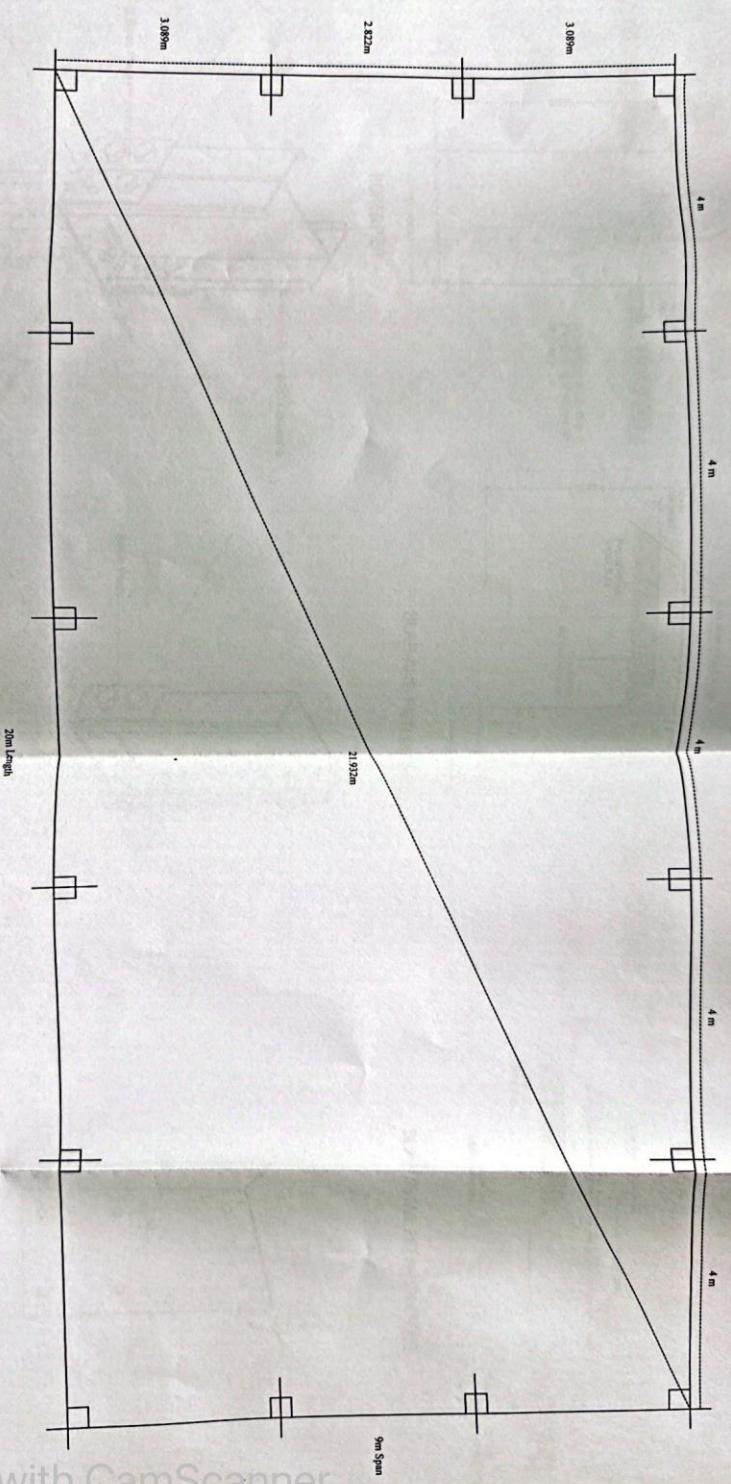
**Concrete Piers**  
 (Use only when NO Slab)  
 Not to Scale

Seller: Wide Span Sheds  
 Sheik Pty Ltd  
 Phone: 07 5657 8888  
 Fax: 07 5657 8899  
 Email: admin@sheds.com.au

**SHOWERS ENGINEERING PTY LTD**  
 ACN : 073 007 144  
 M/E Aust, CP/Eng. (Registered NPER Structural & Civil) 321787  
 QLD : RPEQ No. 1547, VIC : EC24162, TAS : CC4600H, NT : 46926ES.  
 Practising Professional Structural & Civil Engineer

Signature: *[Signature]*  
 R.J. Showers  
 Date: 20/09/13


043413



Purchaser Name: Tun Tun Pty Ltd  
 Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4178  
 Drawing # Job 132587 - 7  
 Print Date: 20/09/13

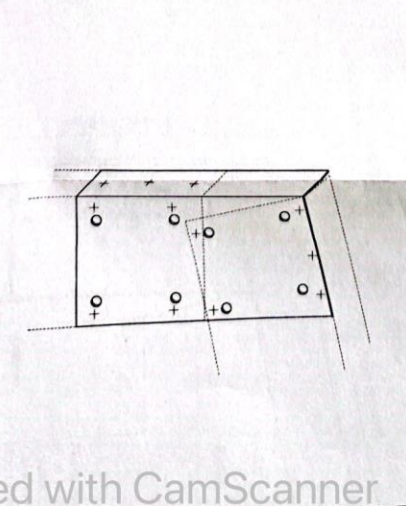
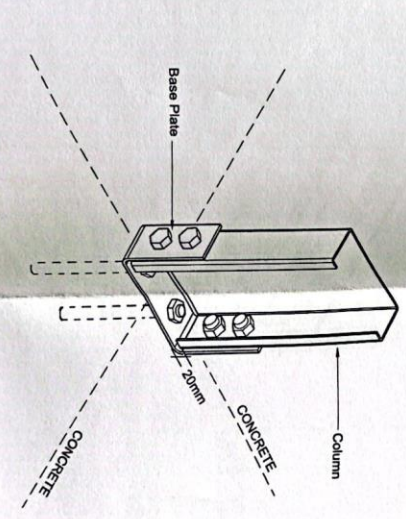
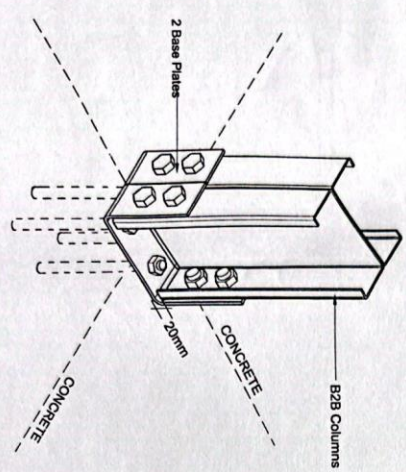
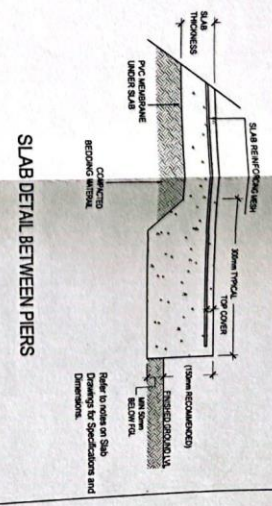
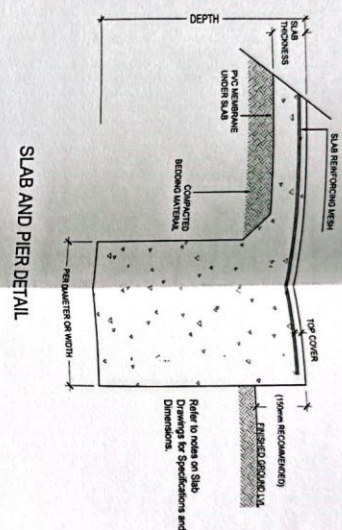
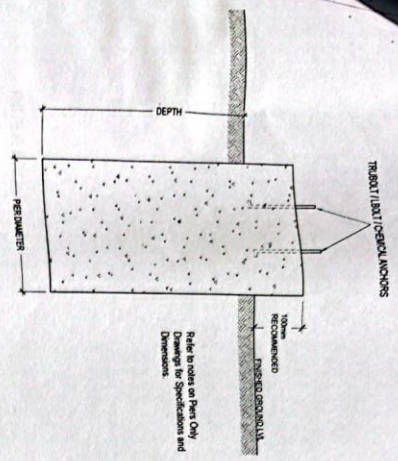
**Slab**  
 (Use only if a Slab is being laid)  
 Not to Scale

Seller: Wide Span Sheds  
 Sheek Pty Ltd  
 Phone: 07 5657 8888  
 Fax: 07 5657 8899  
 Email: admin@sheds.com.au

SHOWERS ENGINEERING PTY LTD  
 ACN : 075 007 144  
 NLE Aust. CPENG. (Registered NPER, Structural & Civil) 321787  
 QLD : RPEQ No. 1547, VIC : EC24162, TAS : CCA60011, NT : 46925FS  
 Practising Professional Structural & Civil Engineer  
 Signature:   
 R.J. Showers  
 Date: 20/9/13



04-9-4-13



FIXING BOLTS - 8 of M12 x 30  
4 of M12 x 180 CHEM ANCHOR BOLTS  
C200 MAIN COLUMN FIXING

FIXING BOLTS - 4 of M12 x 30  
2 of M12 x 180 CHEM ANCHOR BOLTS  
C200 MAIN COLUMN FIXING

O FIXING BOLTS - 8 of M12 x 30  
FIXING SCREWS - 12 of 14.20 x 22  
HAUNCH PLATE - C200 (ENCLOSED END WALL)

Purchaser Name: Tum Tum Pty Ltd  
Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4478  
Drawing # Job 132587 - 8  
Print Date: 20/09/13

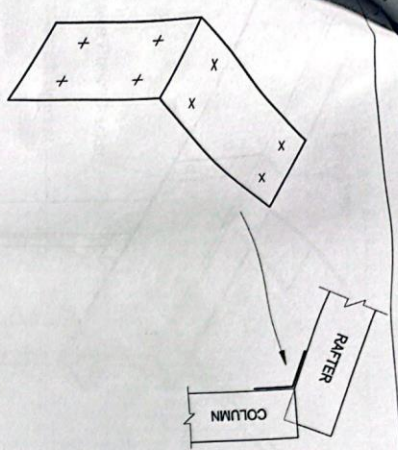
**Connection Details**  
Page 1 of 4

Seller: Wide Span Sheds  
Steelx Pty Ltd  
Phone: 07 5657 8888  
Fax: 07 5657 8899  
Email: admin@sheds.com.au

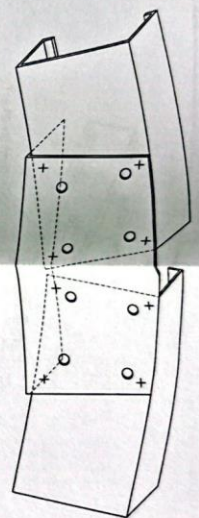
SHOWERS ENGINEERING PTY LTD  
ACN : 075 007 144  
MIE Aust. CP Eng. (Registered NREER Structural & Civil) 321787  
QLD : RPEO No.1542 VIC : ECA162; TAS : CCA600H; NT : 4692; CE  
Practising Professional Structural & Civil Engineer  
Signature: R.L. Showers  
Date: 20/09/13



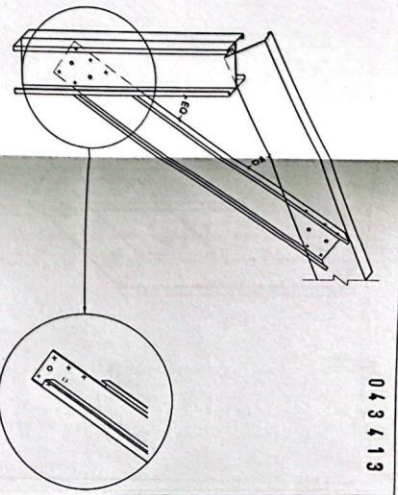
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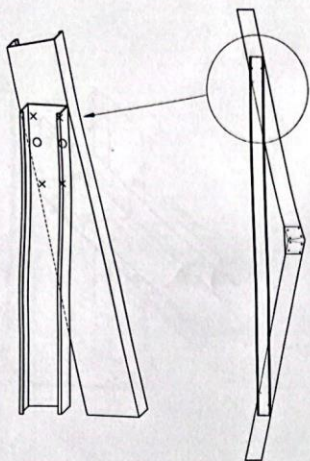
INNER HAUNCH BRACKET - SINGLE  
 x FIXING SCREWS - 8 of 14.20 x 22



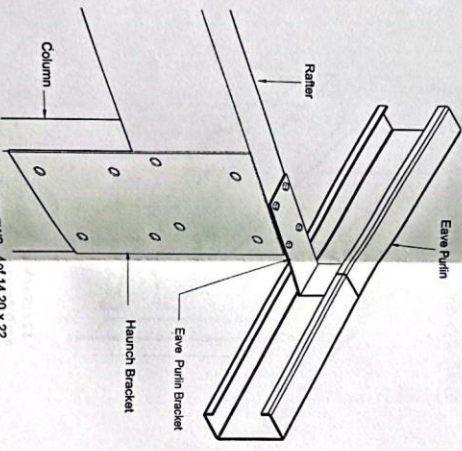
APEX PLATE C200  
 o FIXING BOLTS - 8 of M12 x 30  
 x FIXING SCREWS - 8 of 14.20 x 22



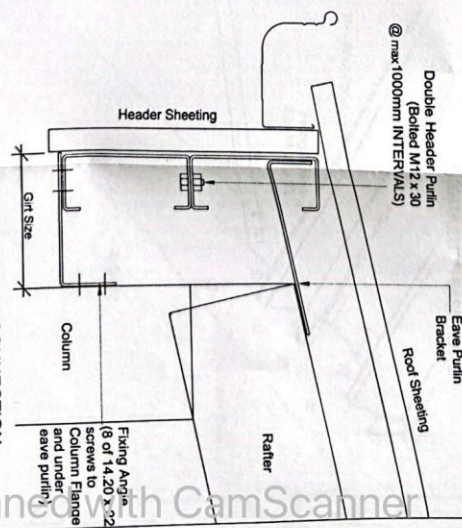
KNEE BRACE FOR C200 COLUMN  
 BACK TO BACK COLUMN - SINGLE RAFTER  
 o FIXING BOLTS - 4 of M12 x 30  
 x FIXING SCREWS - 8 of 14.20 x 22



APEX BRACE C200 RAFTER  
 o FIXING BOLTS - 4 of M12 x 30  
 x FIXING SCREWS - 8 of 14.20 x 22



EAVE PURLIN BRACKET TO RAFTER  
 FIXING SCREWS - 4 of 14.20 x 22



HEADER PURLIN CONNECTION  
 SHOWNERS ENGINEERING PTY LTD

Purchaser Name: Tum Tum Pty Ltd  
 Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4478  
 Drawing # Job 132387 - 8  
 Print Date: 20/09/13

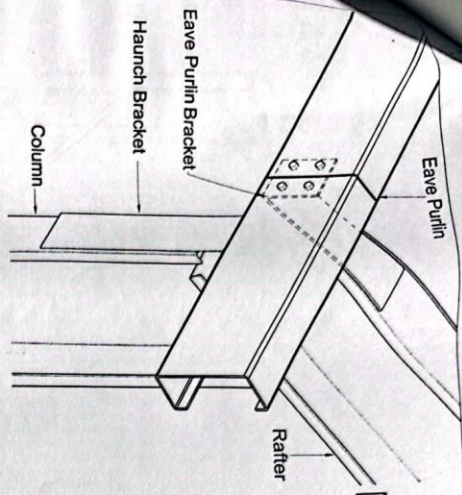
Connection Details  
 Page 2 of 4  
 Seller: Wide Span Slids  
 Sheek Pty Ltd  
 Phone: 07 5657 8888  
 Fax: 07 5657 8899  
 Email: admin@sheds.com.au

SHOWNERS ENGINEERING PTY LTD  
 ACN : 075 007 144  
 MTE Aust. CE/Eng. (Registered NPER Structural & Civil) 321787  
 QLD : RPEQ No. 1341, VIC : EC24162, TAS : CC460011, N.T. : 469265SS,  
 Practising Professional Structural & Civil Engineer  
 Signature: R.J. Showers  
 Date: 20/09/13

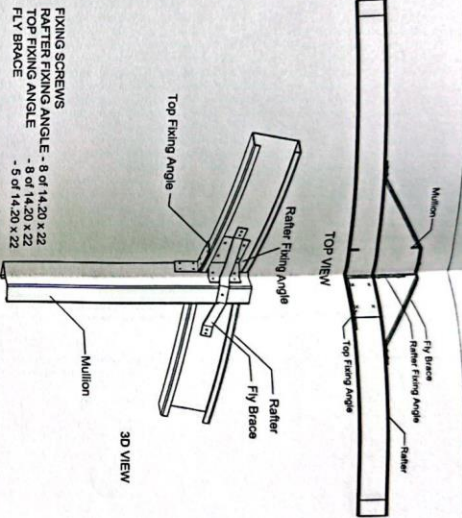
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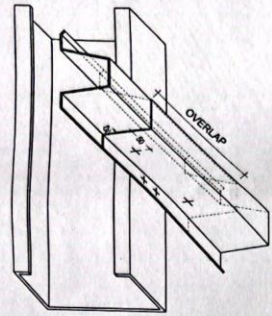
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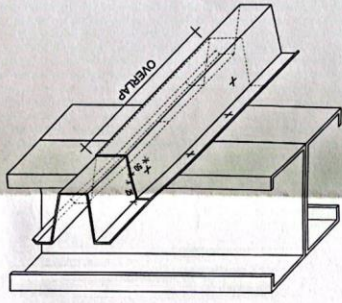
EAVE PURLIN TO EAVE PURLIN BRACKET



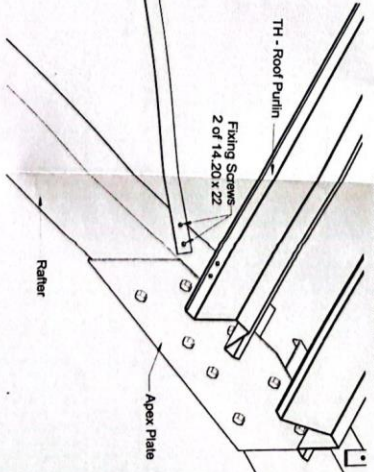
END WALL MULLION TO RAFTER



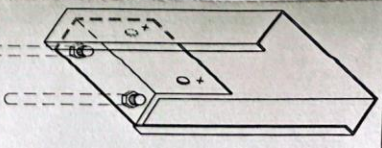
PURLIN/GIRT FIXING - TOPHAT 64 SINGLE COLUMN OR RAFTER



GIRT FIXING - TOPHAT 64 BACK TO BACK COLUMNS WITH SINGLE RAFTER



BRACING CONNECTION AT APEX



MULLION TO CHEMICAL ANCHOR

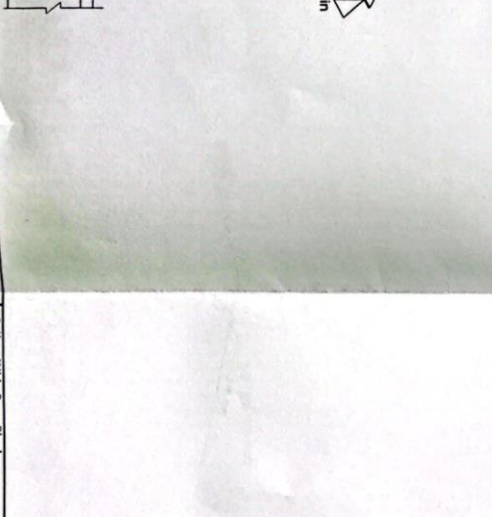
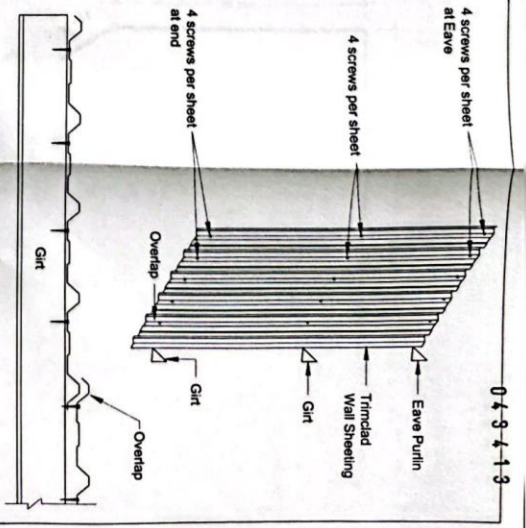
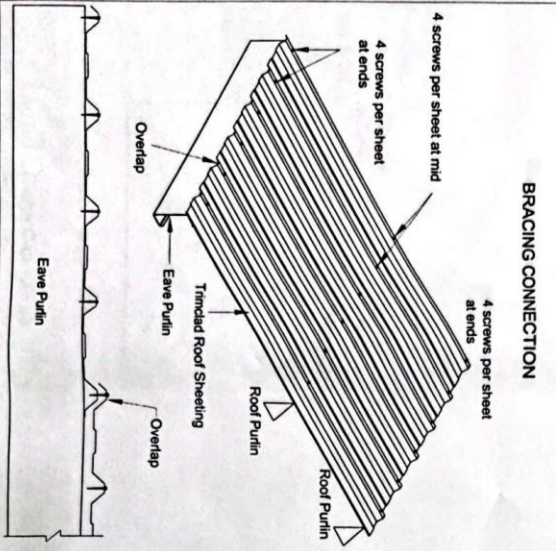
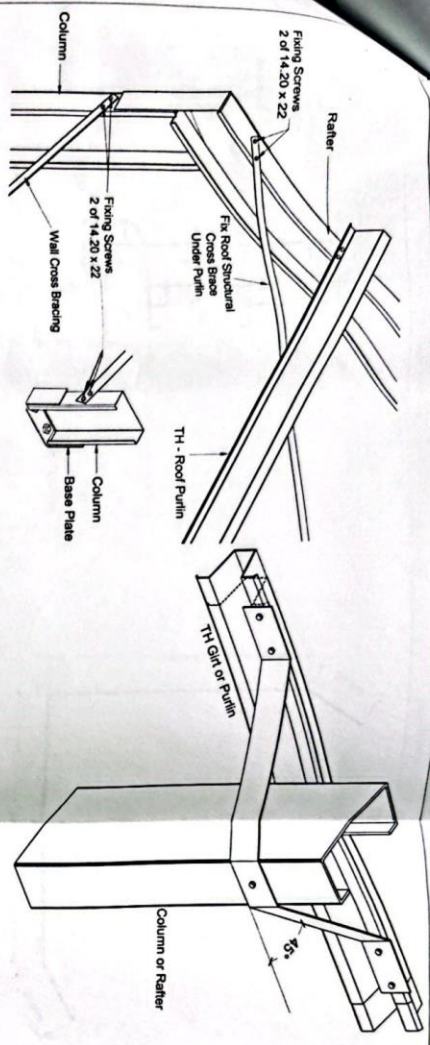
Purchaser Name: Tum Tum Pty Ltd  
 Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4478  
 Drawing # Job: 132587 - 8  
 Print Date: 20/09/13


**Connection Details**  
 Page 3 of 4

Stock Pty Ltd  
 Phone: 07 5657 8888  
 Fax: 07 5657 8899  
 Email: admin@sheds.com.au

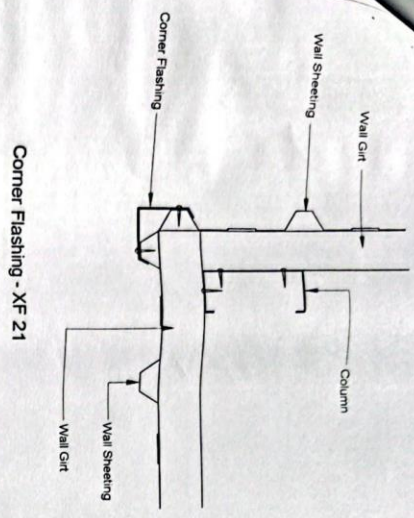
SHOwers ENGINEERING PTY LTD  
 ACN : 075 007 144  
 MIE Aust. CPEng. (Registered NBER Structural & Civil) 321787  
 QLD : RPEQ No.1547, VIC : EC24162, TAS : CC4600H, NT : 46926ES.  
 Practising Professional Structural & Civil Engineer  
 Signature: R.J. Showers  
 Date: 20/09/13



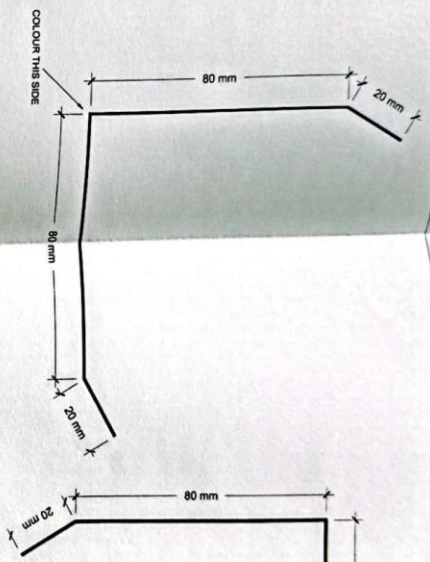


Purchaser Name: Tum Tum Pty Ltd Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4478 Drawing # Job 132587 - 8 Print Date: 20/09/13		<b>Connection Details</b> Page 4 of 4		Seller: Wide Span Sheeds Sheek Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8999 Email: admin@sheds.com.au		<b>SHOWERS ENGINEERING PTY LTD</b> ACN : 075 007 144 MLE Aust. C/Eng. (Registered NPER Structural & Civil) 321787 QLD : RPEQ No.1347, VIC : EC24162, TAS : CC4600H, N.T : 46926ES; Practising Professional Structural & Civil Engineer	
		Signature:  R.J. Showers Date: 20/09/13					

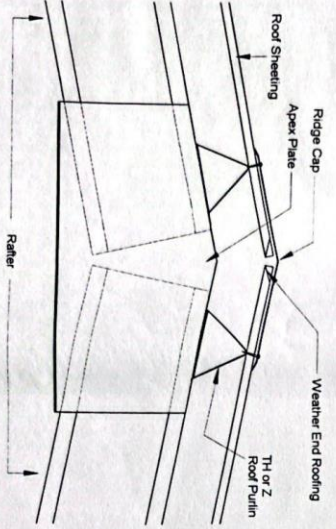




Corner Flashing - XF 21



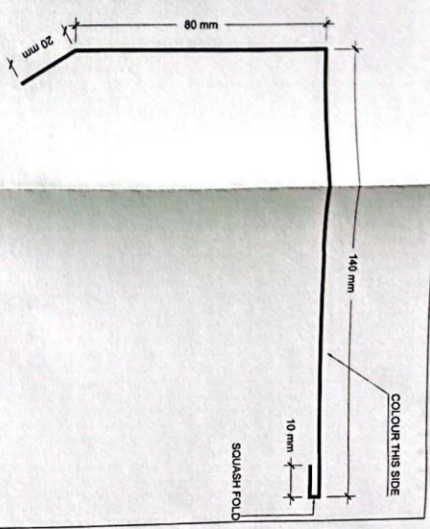
XF 21



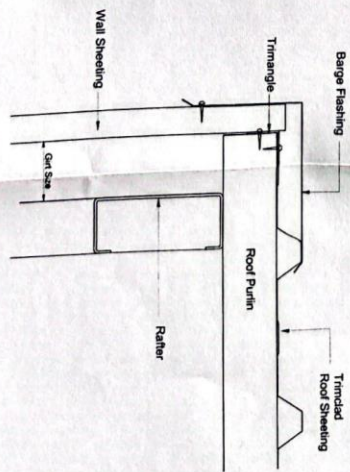
Ridge Cap - XF 83



XF 83



XF 401



Barge Flashing XF 11 - Connection

Purchaser Name: Turn Turn Pty Ltd  
 Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4478  
 Drawing # Job 132587 - 9  
 Print Date: 20/09/13

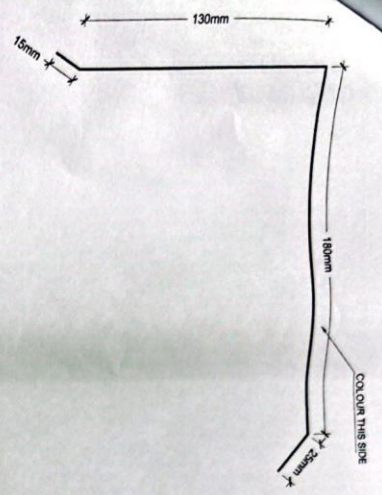
Flashing Fixing Details  
 Page 1 of 2

Seller: Wide Span Sheds  
 Steels Pty Ltd  
 Phone: 07 5657 8888  
 Fax: 07 5657 8899  
 Email: admin@sheds.com.au

SHOWERS ENGINEERING PTY LTD  
 ACN : 075 007 144  
 MIE Aust. CP Eng. (Registered NPER Structural & Civil) 321787  
 QLD : REEQ No. 154, VIC : EC34162, TAS : CC4600H, N.T. : 46926ES;  
 Practising Professional Structural & Civil Engineer  
 Signature: R.J. Showers  
 Date: 20/09/13



043413



XF11


Purchaser Name: Turn Turn Pty Ltd  
 Site Address: Lot 17 Davidson Road TAMBO QLD Australia 4478  
 Drawing # Job 132587 - 9      Print Date: 20/09/13

### Flashing Fixing Details

Page 2 of 2

Seller: Wide Span Steeds  
 Steek Pty Ltd  
 Phone: 07 5657 8888  
 Fax: 07 5657 8899  
 Email: admin@sheds.com.au

**SHOWERS ENGINEERING PTY LTD**  
 ACN : 075 007 144  
 M/E Aust. Certif. (Registered NPER Structural & Civil) 321787  
 QLD - RPEQ No. 1547, VIC - EC24162, TAS - CC4600H, NT - 46926ES,  
 Practising Professional Structural & Civil Engineer

Signature:   
 R.J. Showers      Date: 20/09/13



**Building Application for New Shed**

# DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

*Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).*

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Longhorn Transport Pty Ltd.
Contact name (only applicable for companies)	Kym + Graham Johnson
Postal address (PO Box or street address)	PO Box 103
Suburb	Tambo
State	QLD
Postcode	4478
Country	Australia
Contact number	0429979557
Email address (non-mandatory)	kymandgidgee@bigpond.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

## PART 2 – LOCATION DETAILS

### 2) Location of the premises (complete 2.1 and 2.2 if applicable)

*Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.*

#### 2.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).



Queensland  
Government



Unit No.	Street No.	Street Name and Type	Suburb
	LOT 17	Davidson Road	Tambo
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4478	17	SP14 8104	Tambo

**2.2) Additional premises**

Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

Not required

**3) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the DA Forms Guide*

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

**PART 3 – FURTHER DETAILS**

**4) Is the application only for building work assessable against the building assessment provisions?**

Yes – proceed to 8)

No

**5) Identify the assessment manager(s) who will be assessing this development application**

**6) Has the local government agreed to apply a superseded planning scheme for this development application?**

Yes – a copy of the decision notice is attached to this development application

The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached

No

**7) Information request under Part 3 of the DA Rules**

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

*Note: By not agreeing to accept an information request I, the applicant, acknowledge:*

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

**8) Are there any associated development applications or current approvals?**

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			



9) Has the portable long service leave levy been paid?

Yes – a copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached

No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at [www.des.qld.gov.au](http://www.des.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

**PART 4 – REFERRAL DETAILS**

12) Does this development application include any building work aspects that have any referral requirements?

Yes – the Referral checklist for building work is attached to this development application

No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

Yes – referral response(s) received and listed below are attached to this development application

No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

**PART 5 – BUILDING WORK DETAILS**

14) Owner's details

Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	
Suburb	
State	

Postcode	
Country	
Contact number	
Email address (non-mandatory)	
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

**15) Builder's details**

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) (individual or company full name)	Andrew Russell
Contact name (applicable for companies)	
QBCC licence or owner – builder number	1246385
Postal address (P.O. Box or street address)	
Suburb	Blackall
State	Qld
Postcode	4472
Contact number	0439725652
Email address (non-mandatory)	aprusell@gmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

**16) Provide details about the proposed building work**

What type of approval is being sought?

Development permit  
 Preliminary approval

b) What is the level of assessment?

Code assessment  
 Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

New building or structure  
 Change of building classification (involving building work)  
 Demolition

Repairs, alterations or additions  
 Swimming pool and/or pool fence  
 Relocation or removal

d) Provide a description of the work below or in an attached schedule.

Truck Shed

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input checked="" type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

f) Existing building use/classification? (if applicable)

Industrial



g) New building use/classification? (if applicable)

h) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work?

\$ 38360

18) Has Queensland Home Warranty Scheme Insurance been paid?

Yes – provide details below

No details will be provided when paid

Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

The relevant parts of *Form 2 – Building work details* have been completed  Yes

This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed *Form 1 – Development application details*  Yes  
 Not applicable

Relevant plans of the development are attached to this development application  
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).  Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)  Yes  
 Not applicable

20) Applicant declaration

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.



**PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY**

Date received:  Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government			
Confirm proposed construction materials:			
External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date received form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m <sup>2</sup> )		Floor area (m <sup>2</sup> )	



This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.


<p><b>1. Property description</b></p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include number, street, suburb/locality and postcode)</p> <p>LOT 17 DAVIDSON RD TAMBO State QW Postcode 4078</p> <p>Lot and plan details (attach list if necessary)</p> <p>Local government area the land is situated in</p>																					
<p><b>2. Description of aspect/s certified</b></p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>12m SPAN x 27m LONG x 5.1m EAVE OPEN BUNDLED STEEL SHEET FRAMING CONNECTIONS FOUNDATION PILES ONLY SITE REGION A TERRAIN CAT 2.0</p>																					
<p><b>3. Basis of certification</b></p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>	<table border="0"> <tr> <td>AS 1170.0 - 2002</td> <td>AS 4100 - 2020</td> <td>AS 3623 - 10073</td> </tr> <tr> <td>AS 1170.1 - 2002</td> <td>AS 4600 - 2018</td> <td>AS 12007 - 2014</td> </tr> <tr> <td>AS 1170.2 - 2021</td> <td>AS 1562 - 1 - 2018</td> <td>AS 37100 - 2018</td> </tr> <tr> <td>AS 1170.3 - 2003</td> <td>AS 4678 - 2002</td> <td>AS 4773 - 2015</td> </tr> <tr> <td>AS 1170.4 - 2007</td> <td>AS 1680 - 2020</td> <td>AS 3300.1,2,3 - 2021</td> </tr> <tr> <td>AS 3600 - 2018</td> <td>AS 1770.1 - 2010</td> <td></td> </tr> <tr> <td>AS 2870 - 2011</td> <td>AS 4055 - 2012</td> <td>BCA/NCC 2022</td> </tr> </table>	AS 1170.0 - 2002	AS 4100 - 2020	AS 3623 - 10073	AS 1170.1 - 2002	AS 4600 - 2018	AS 12007 - 2014	AS 1170.2 - 2021	AS 1562 - 1 - 2018	AS 37100 - 2018	AS 1170.3 - 2003	AS 4678 - 2002	AS 4773 - 2015	AS 1170.4 - 2007	AS 1680 - 2020	AS 3300.1,2,3 - 2021	AS 3600 - 2018	AS 1770.1 - 2010		AS 2870 - 2011	AS 4055 - 2012	BCA/NCC 2022
AS 1170.0 - 2002	AS 4100 - 2020	AS 3623 - 10073																				
AS 1170.1 - 2002	AS 4600 - 2018	AS 12007 - 2014																				
AS 1170.2 - 2021	AS 1562 - 1 - 2018	AS 37100 - 2018																				
AS 1170.3 - 2003	AS 4678 - 2002	AS 4773 - 2015																				
AS 1170.4 - 2007	AS 1680 - 2020	AS 3300.1,2,3 - 2021																				
AS 3600 - 2018	AS 1770.1 - 2010																					
AS 2870 - 2011	AS 4055 - 2012	BCA/NCC 2022																				



<p><b>4. Reference documentation</b></p> <p>Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p><b>ATTACHED PLANS &amp; DETAILS</b></p> <p><b>34744-15 SHEETS DATED 10-6-23</b></p>
--	--

<p><b>5. Building certifier reference number and building development application number</b></p>	<p>Building certifier reference number</p> <p>.....</p> <p>Building development application number (if available)</p> <p>.....</p>
--	--

<p><b>6. Appointed competent person details</b></p> <p>Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.</p>	<p>Name (in full) <b>GEORGE ZUEV</b></p> <hr/> <p>Company name (if applicable) <b>TECHIBUILD CONSULTING</b></p> <p>Contact person <b>GEORGE ZUEV</b></p> <hr/> <p>Business phone number <b>0264 0736061</b></p> <p>Mobile number <b>0610 0739301</b></p> <hr/> <p>Email address <b>HIGHPR@BIGEND.NET.AU</b></p> <hr/> <p>Postal address <b>PO BOX 5020</b></p> <hr/> <p><b>COBARRGO NSW</b> State <b>NSW</b> Postcode <b>2350</b></p> <hr/> <p>Licence class or registration type (if applicable) <b>REGISTERED PROFESSIONAL ENGINEER</b></p> <hr/> <p>Licence or registration number (if applicable) <b>2482 7551</b></p>
---	--

<p><b>7. Signature of appointed competent person</b></p> <p>This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.</p>	<p>Signature</p>  <p>Date <b>23 JUN 2023</b></p>
--	--

**LOCAL GOVERNMENT USE ONLY**

Date received		Reference number/s	
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## Appendix – explanatory information

**IMPORTANT NOTE:** It is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

**Who can complete this certificate?** (sections 10 of the *Building Act 1975* (Building Act) and 73 of Building Regulation 2021 (BR 2021))  
A building certifier can accept from a competent person (design – specifications) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

For a competent person to meet the regulation requirements (section 77 of the BR 2021) they must substantially complete all sections of this form, including information, such as the design of a particular material, system, method of building or that a building element complies with the Building Code of Australia or a provision of the Queensland Development Code. It is also important that the details of the relevant reference documents are included, for example, the applicable Australian Standards or other technical provisions that may be applicable to the subject work.

**What is the purpose of this form?** (section 10 of the *Building Act 1975*)

The information in this form informs the building certifier's decision making when they are assessing a building development application and issuing the building development approval for the building work the subject of the certificate (form).

**When is this form not required?**

The assessment of some building applications will be entirely within the expertise of the relevant building certifier and therefore they may not seek the help of a competent person. In these instances, this form is not required.

**Is a manufacturer or supplier required under the BR 2021 to complete and sign this Form 15, if requested?**

**No.** A manufacturer or supplier of building materials is not required to complete and give this form or any aspect and inspection certificates if requested by a construction contractor, builder, appointed competent person, or a building certifier.

However, a manufacturer or supplier may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a manufacturer's statement for an aspect or material that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

**What if there is not enough space for all the supporting material/documents?**

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is also available in a Microsoft Word version, that you can download and edit to include additional material in the relevant parts of the form. Note that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

**Appointed competent person (design or specification) –** (sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of inspection help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day. The building certifier can also decide an individual is a competent person (design-specification) and a competent person (inspection) at the same time or for the same systems or components of the work.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

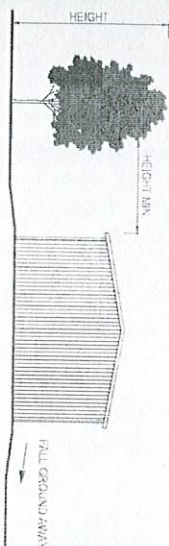
### PRIVACY NOTICE

The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.



## GENERAL NOTES

- G1. Do not scale drawings. Written dimensions shall have precedence over scaled drawings. Dimensions, conditions and levels to be verified on site, report any discrepancies to the applicable building designer(s).
- G2. All new construction work and the installation of services must comply with the Building Code of Australia, relevant Australian Standards, relevant codes and manuals, local municipal by-laws and requirements of the relevant authorities.
- G3. This building design should be reviewed by an appropriately qualified person with regards to the relevant Occupations Health & Safety Act in your state.
- G4. Moisture or Moisture Retaining materials should not be permitted to remain in intimate contact with Zincalume or Galvalume Steel (roof & wall sheeting). Such contact will ultimately result in perforation (rust) of the material.
- G5. Clay soil will swell and shrink with variations in moisture content. This movement may cause damage to the building. In order to minimise the damage we recommend the following precautions are taken:
- Provide adequate site drainage to ensure water will not pond against or near the building.
  - Grade the site within 2.0m of the building away from building to ensure that water will not pond near the building.
  - Maintain sewerage, stormwater and other drainage systems so that leakages will not occur. If they do occur they should be repaired promptly.
  - Grass and shrubs should not be planted or allowed to exist, closer than 0.75 times their mature height to the building. Avoid establishing garden beds next to the building. Sanders and layers should be watered adequately but not excessively. Uniform, consistent watering can be important to prevent damage to the foundations during dry spells or drought.



Signature: Mr George Zuev  
 MIEAUST OPENG NER  
 Registered on the NER in the area(s)  
 of practice of Civil Engineering

Date: 23 JUN 2023

National Engineering Register  
 ENGINEERS AUSTRALIA

## CONCRETE

- C1. All workmanship and materials shall be in accordance with AS 3600 current editions with amendments, except where varied by the contract documents.
- C2. Concrete Characteristics

ELEMENT	STRENGTH FC	SLUMP	MAX AGG. SIZE
Piers	25 MPa	80mm ± 15	20 mm
Footings	25 MPa	80mm ± 15	20 mm

- C3. Cover to reinforcement shall be obtained by the use of approved bar chairs. All bar chairs to be spaced at 1000cmm maximum. Cover shall not be less than the size of the aggregate or the main bars.

Concrete Cover	Piers	Footings	Slip Footings
	= 50mm UNO	= 50mm UNO	= 50mm UNO

- C4. Sizes of concrete elements do not include thickness of applied finish.
- C5. No holes, chases or embedment of pipes other than those shown on the structural drawings shall be made in concrete members without the approval of the Engineer.
- C6. Construction joints shall be properly formed and located only where shown or specifically approved by the Engineer.
- C7. Reinforcement is represented diagrammatically. It is not necessarily shown in true projection.
- C8. Splices in reinforcement shall be made only in the positions shown, unless the approval of the engineer is obtained for any other splice.
- C9. Welding of reinforcement will not be permitted unless noted on the structural drawings.
- C10. Pipes or conduits shall not be placed within the cover to reinforcement without the approval of the Engineer.

- C11. Reinforcement to be supplied and bent in accordance with AS 1302, AS 1303 & AS 1304 current editions and amendments. Reinforcement is denoted by the following symbols:

R	denotes structural grade round bars grade 500
N	denotes hot rolled deformed
SL	denotes hard drawn steel wire square fabric
RL	denotes hard drawn steel wire rectangular fabric
L	denotes hard drawn steel wire tendon mesh

- C12. All reinforcement for any one pour shall be completely placed and tied prior to inspection. No concrete shall be poured until reinforcement has been inspected and approved.
- C13. Foundations to be cast with a naturally compacted subgrade or approved compacted fill preparation to be to a minimum of 95% standard dry density to AS 1289, E1.1.
- C14. All concrete shall be properly compacted by means of approved vibrators.
- C15. Where walls are non-head bearing at either horizontal or vertical faces they shall be separated from concrete or brickwork by 10mm thick bituminous dam or similar.
- C16. Concrete shall be separated from supporting masonry by two layers of suitable membrane or as directed by the Engineer. Vertical faces of concrete to be kept free by a 10mm thickness bituminous dam or similar.

## STRUCTURAL STEELWORK

- S1. All workmanship and materials shall be in accordance with AS 4.
- S2. Unless noted otherwise all steel shall be in accordance with:
- AS 3678 and AS 3679 Grade 300 hot rolled sections
  - AS 1163 Grade 350 for square hollow sections
  - AS 1074 Grade 200 for circular hollow sections
  - AS 1337 Grade 450 for cold formed light gauge sections
- S3. The contractor shall provide temporary bracing as necessary erection and leave in place until permanent bracing elements are completed.
- S4. Welding if required shall be in accordance with AS 1554 and operator.
- S5. Welds shall be 6mm continuous fillet unless noted otherwise.
- S6. Bolt welds are to be complete penetration butt welds as defined shall be used.
- S7. Refer to structural drawings for purlin and girt sizes and spacing installed in accordance with manufacturers directions. Use washers bolts shall be:
- M12 4.6S for sections up to 250mm deep
  - M16 4.6S for sections over 250mm deep
- S8. Purlin cleats shall be 5mm thick, with 6mm dia, unless otherwise noted.
- S9. Bolt type and procedure is as follows:

- 4.6S Refer to commercial bolts of strength grade 4.6 conform using a standard wrench to a snug tight condition.
- 8.8S Refer to high strength bolts of strength grade 8.8 conform using a standard wrench to a snug tight condition.
- 8.8TF Refer to high strength bolts of strength grade 8.8 conform tensioned in a controlled manner to the requirements of AS 4100.

## BRICKWORK / BLOCKWORK

- B1. All brickwork / blockwork shall comply with AS 3700.
- B2. Mortar to brickwork / blockwork shall be 1:1:6 unless otherwise specified.
- B3. Minimum compressive strength of brick to be 30MPa unless otherwise noted.
- B4. Minimum compressive strength of concrete blocks to be 15MPa unless otherwise noted.
- B5. All joints in brick and / or block walls to be in accordance with the practice.
- B6. Cavity wall ties to be in accordance with current standards and requirements.
- B7. All steel columns, mullions and horizontal supports, provide 32mm diameter in an approved manner at 500cmm.
- B8. Provide articulation / expansion joints at 6.0m c/c's max.

George Zuev  
 RPEQ 7551

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F: 1800 554 882

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PROPOSED PROJECT

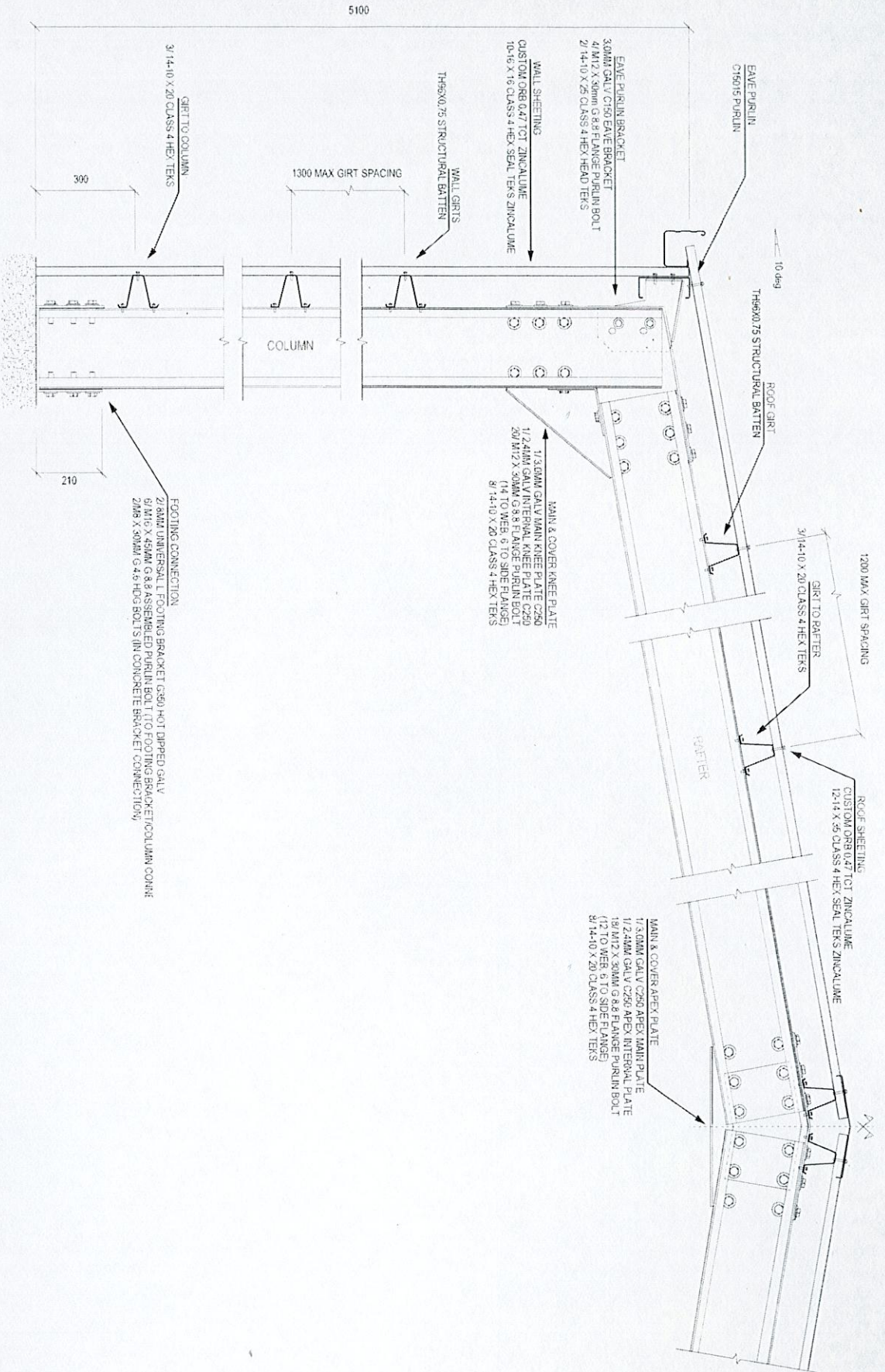
Johnson, Kym  
LONGHORN TRANSPORT PTY LTD  
LOT 17 DAVIDSON RD  
TAMBO QLD 4478

TECHNICAL CONSULTING

STRUCTURAL AND CIVIL ENGINEERS  
High Springs Development Pty Ltd  
ASN 99 074 651 899  
60 Princes Highway, Cobargo NSW 2550  
Telephone & Fax (02) 6 936 061  
Mobile (0419) 938 301

DESCRIPTION

DETAILED CONNECTIONS DETAIL



George Zuev  
RPEQ 7551

23 JUN 2023

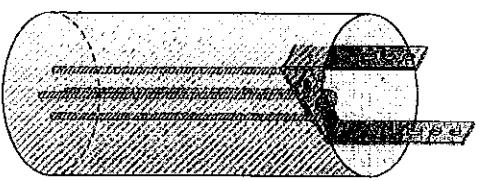
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DRAWING NO.	JOHNS034744 - 02	



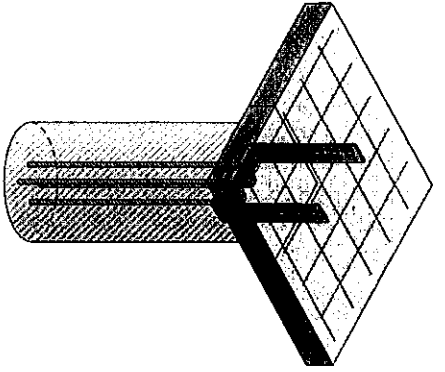




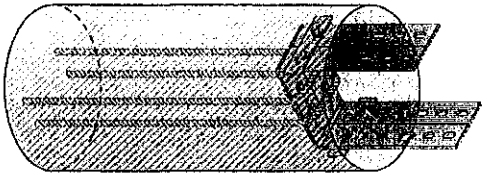
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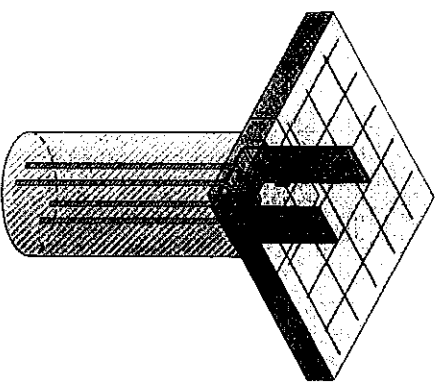
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FOR SINGLE COLUMN - PIER ONLY



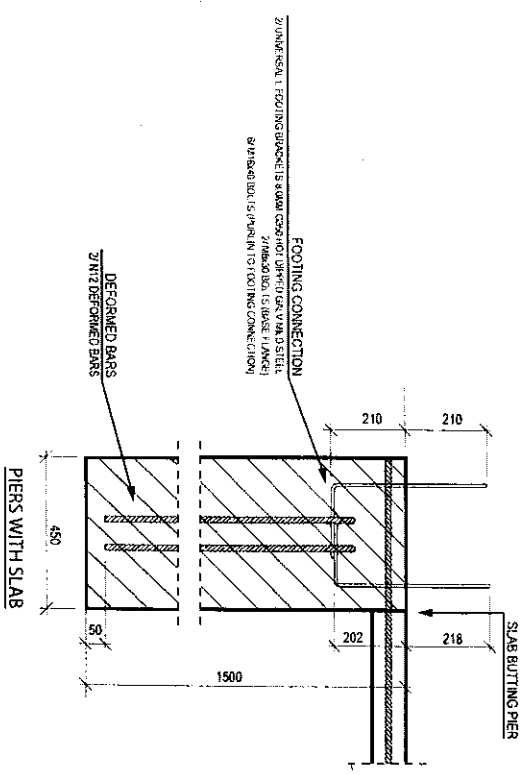
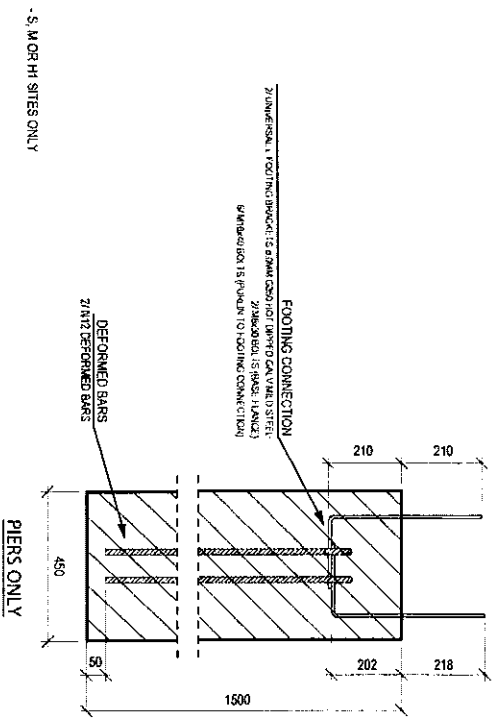
FOOTING BRACKET  
FOR SINGLE COLUMN - WITH SLAB



FOOTING BRACKET  
FOR BTB COLUMN - PIER ONLY



FOOTING BRACKET  
FOR BTB COLUMN - WITH SLAB



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DESIGNS

PROPOSED PROJECT  
Johnson, Aym  
LONGHORN TRANSPORT PTY LTD  
LOT 17 DAVIDSON RD  
TAMBO QLD 4478

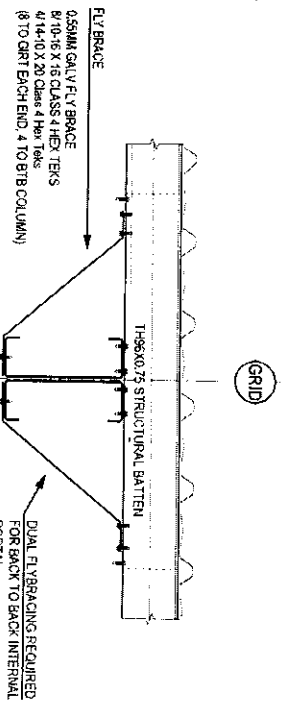
TECHNIBUILD CONSULTING  
STRUCTURAL AND CIVIL ENGINEERS  
High Springs Development Pty Ltd  
ABN 93 074 651 899

60 Princes Highway, Cobargo NSW 2550  
Telephone & Fax (02) 6 936 061  
Mobile (0419) 938 301

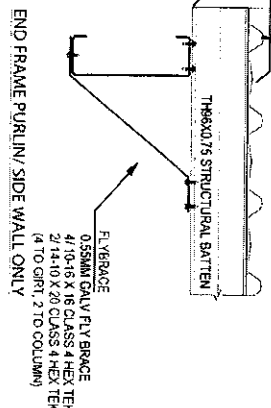
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SCALE: N1:5	SIZE: A3	DATE: 19/06/2023
REGION: A	REGIONAL WIND SPEED V(500): 45 M/S	TERRAIN CAT: 2
DRAWING NO.	JOHNS034744 - 04	

George Zuev  
RPEQ 7551  
23 JUN 2023

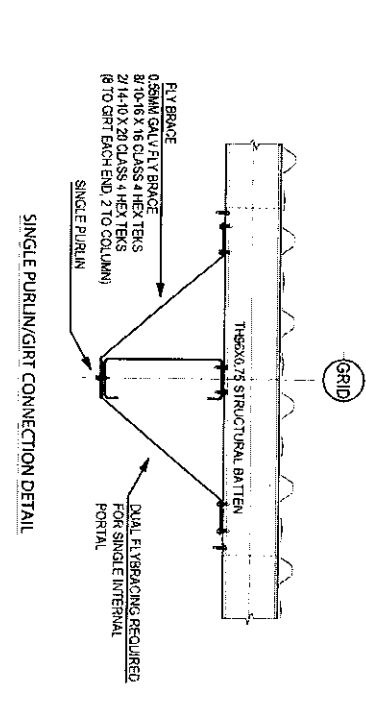
DETAILED CONNECTIONS CONTINUED



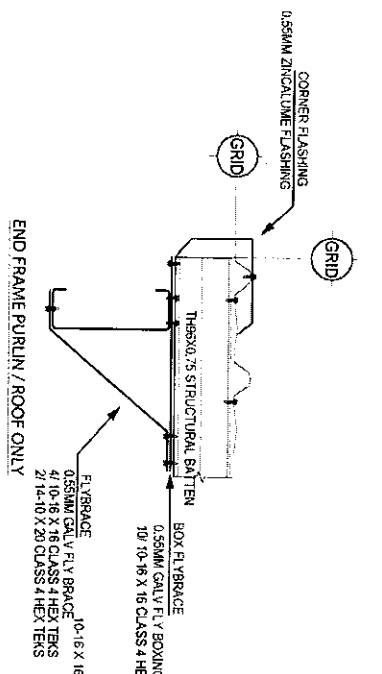
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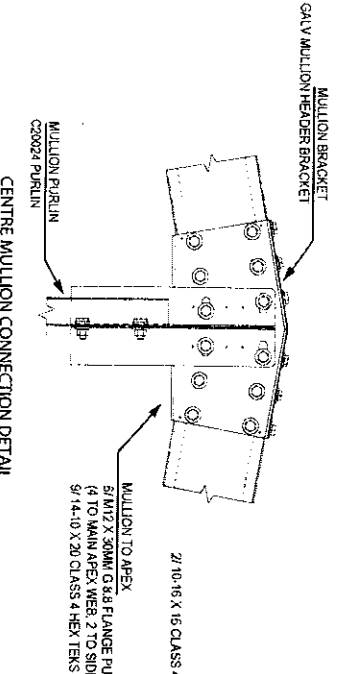
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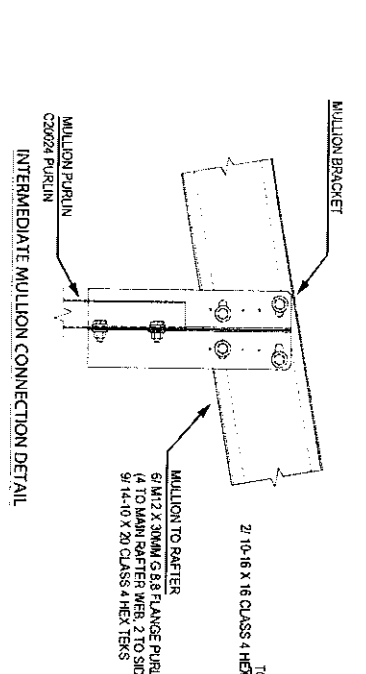
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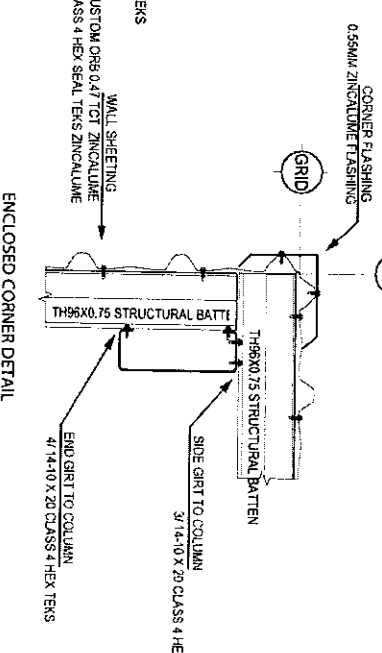
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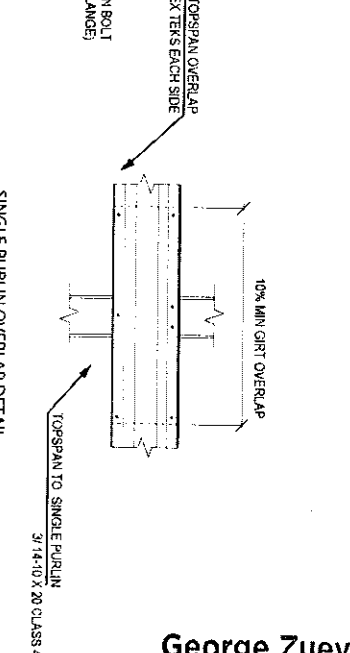
CENTRE MULLION CONNECTION DETAIL



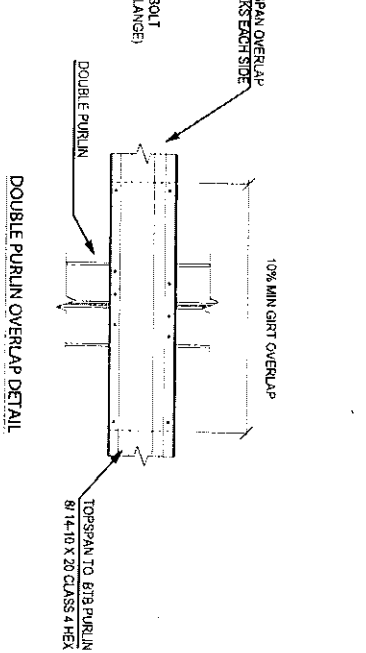
INTERMEDIATE MULLION CONNECTION DETAIL



ENCLOSED CORNER DETAIL



SINGLE PURLIN OVERLAP DETAIL



DOUBLE PURLIN OVERLAP DETAIL

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PROPOSED PROJECT

Johnson Kym  
LONGHORN TRANSPORT PTY LTD  
LOT 17 DAVIDSON RD  
TAMBO QLD 4478

TECHIBUILD CONSULTING  
STRUCTURAL AND CIVIL ENGINEERS

High Springs Development Pty Ltd  
ASN 93 074 651 899

60 Princes Highway, Cobargo NSW 2550  
Telephone & Fax (02) 6 536 061  
Mobile (04) 19 938 501

ESTABLISHED BUILDING  
DESIGNS

DESCRIPTION

DETAILED CONNECTIONS DETAIL

Issue: B	DESIGN: E.A.D.	DRAWN: BR/MLW
SCALE: N:1.5	SIZE: A3	DATE: 19/06/2023
REGION: A	REGIONAL WIND SPEED (VG00): 45 MS	TERRAIN CAT: 2
DRAWING NO.	JOHNS034744 - 05	

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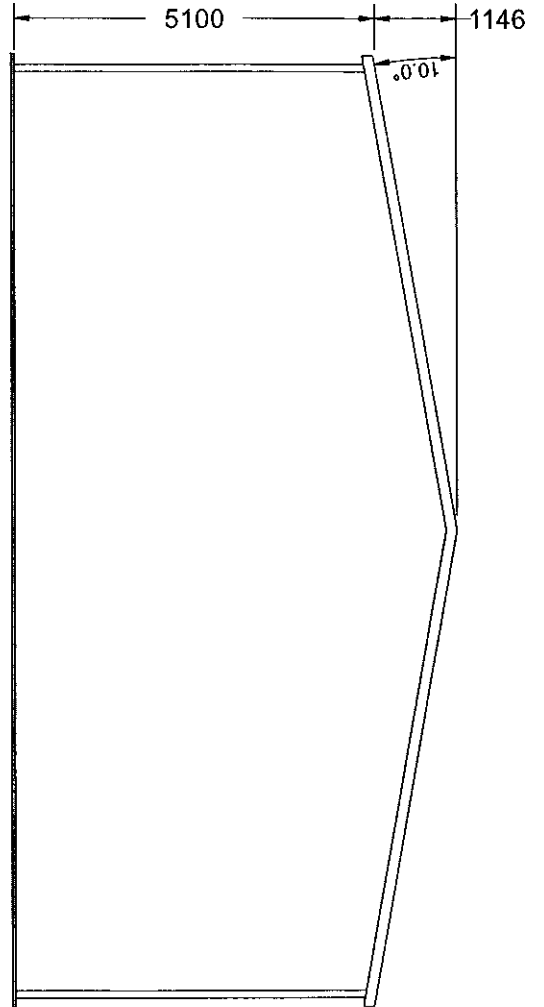
George Zuev  
RPEQ 7551  
23 JUN 2023

JOB DETAILS

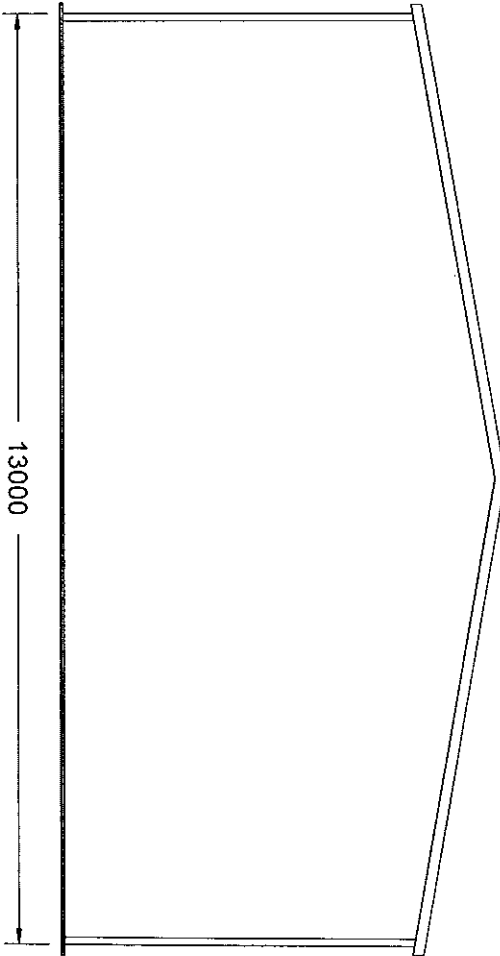
PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.1m - Permeable Building  
CUSTOMER: Longhorn Transport Pty Ltd, Kym Johnson  
SITE: Lot 17 Davidson Rd, Tamborine, QLD, 4478

DRAWING DETAILS

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DRAWING TYPE: Architectural Drawings  
DRAWING SCALE: 1:87

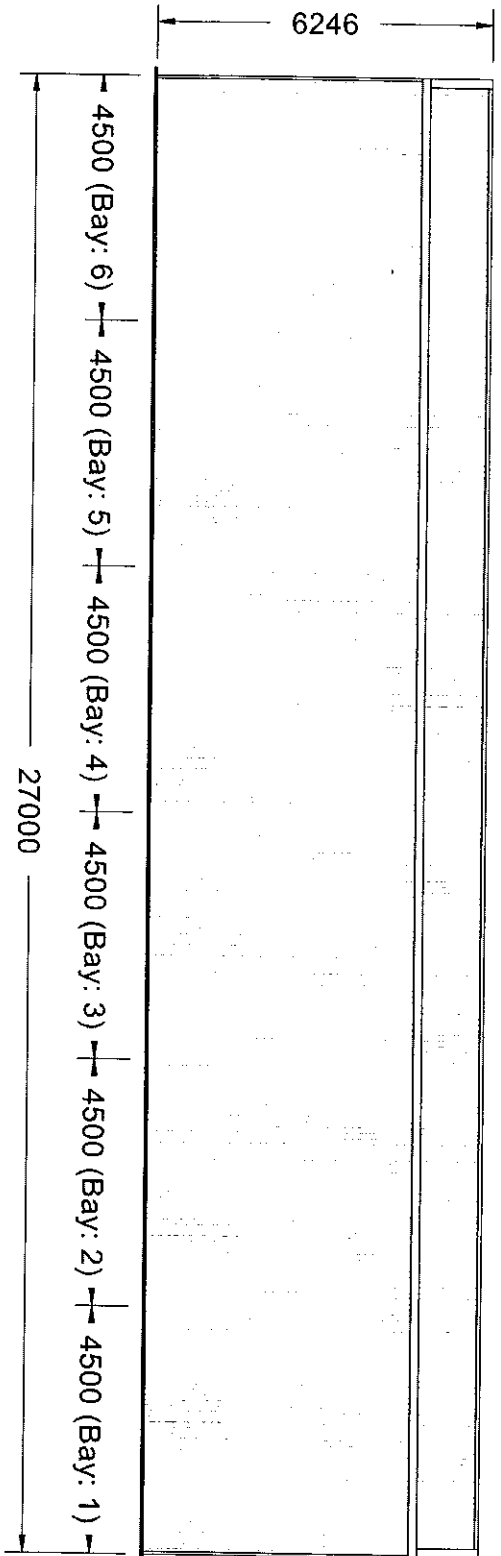


FRONT ELEVATION

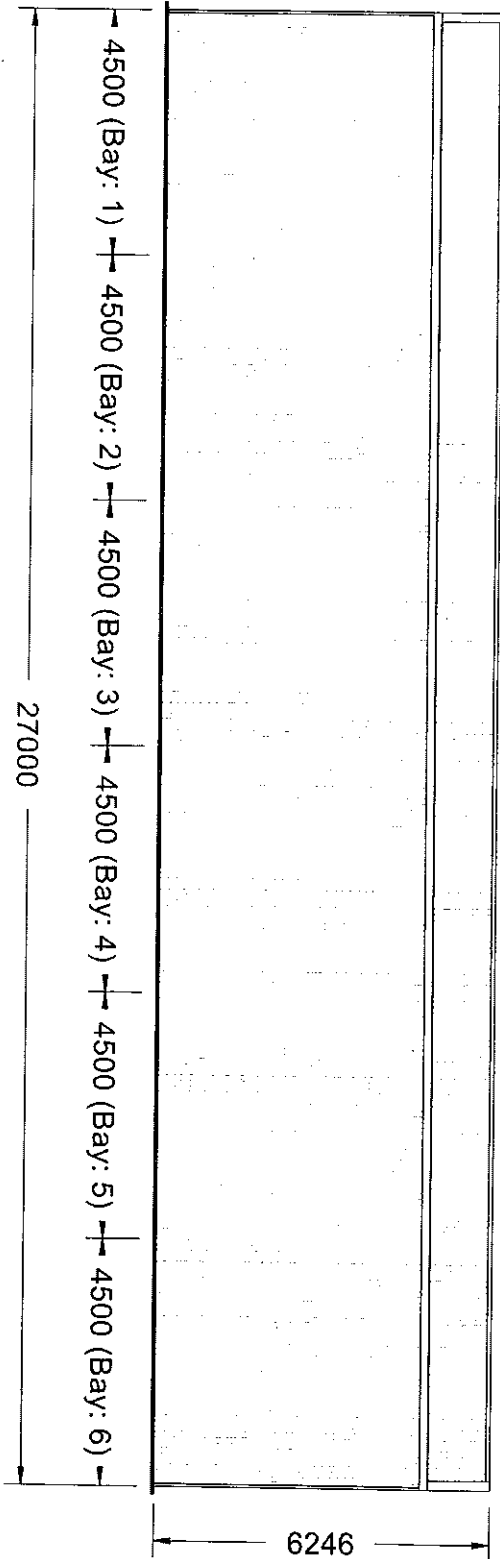


REAR ELEVATION





LEFT ELEVATION



RIGHT ELEVATION

George Zuev ~~23 JUN 2023~~  
 RPEQ 7551

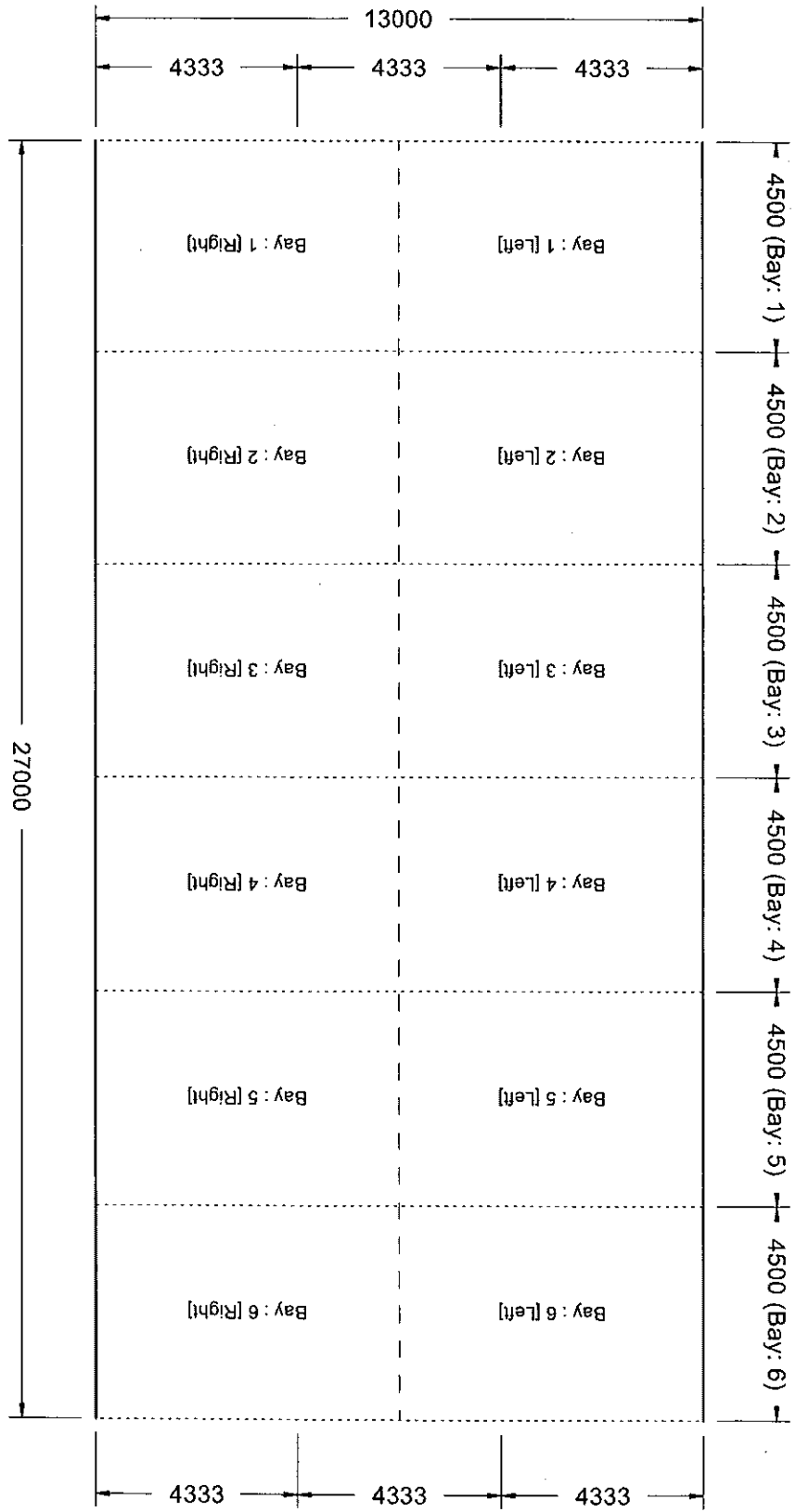
**JOB DETAILS**

PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.1m - Permeable Building  
 CUSTOMER: Longiron Transport Pty Ltd, Kym Johnson  
 SITE: Lot 17 Davidson Rd, Tambora, QLD, 4478

**DRAWING DETAILS**

DRAWING NO.: AP34744  
 DRAWING TYPE: Architectural Drawings  
 DRAWING SCALE: 1:95

**Plan Elevation**



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**JOB DETAILS**

PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.1m - Permeable Building

CUSTOMER: Lungnorm Transport Pty Ltd, Kym Johnson

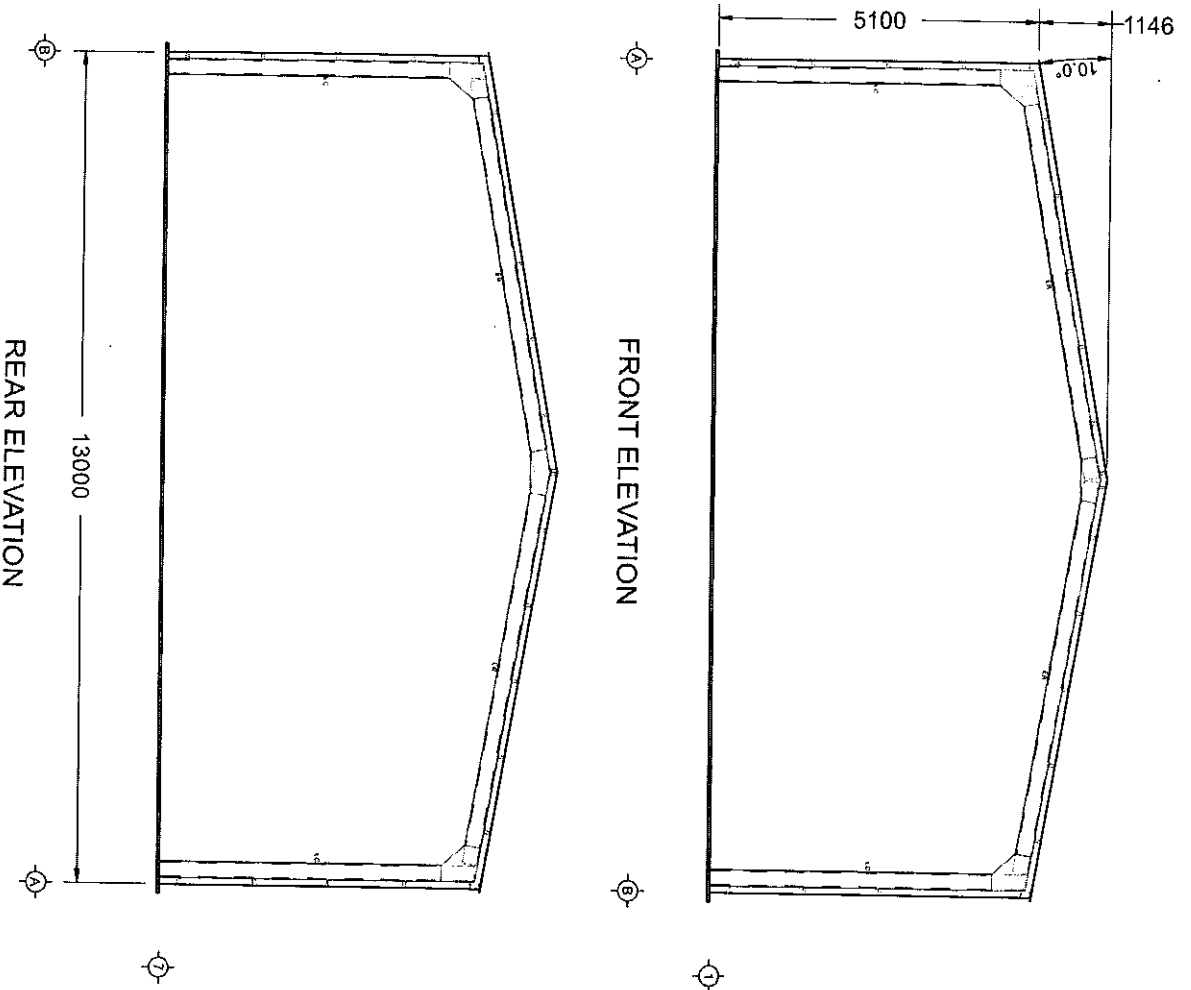
SITE: Lot 17 Davidson Rd, Tambo, QLD, 4478

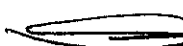
**DRAWING DETAILS**

DRAWING NO.: AP34744

DRAWING TYPE: Engineering Drawing

DRAWING SCALE: 1:75



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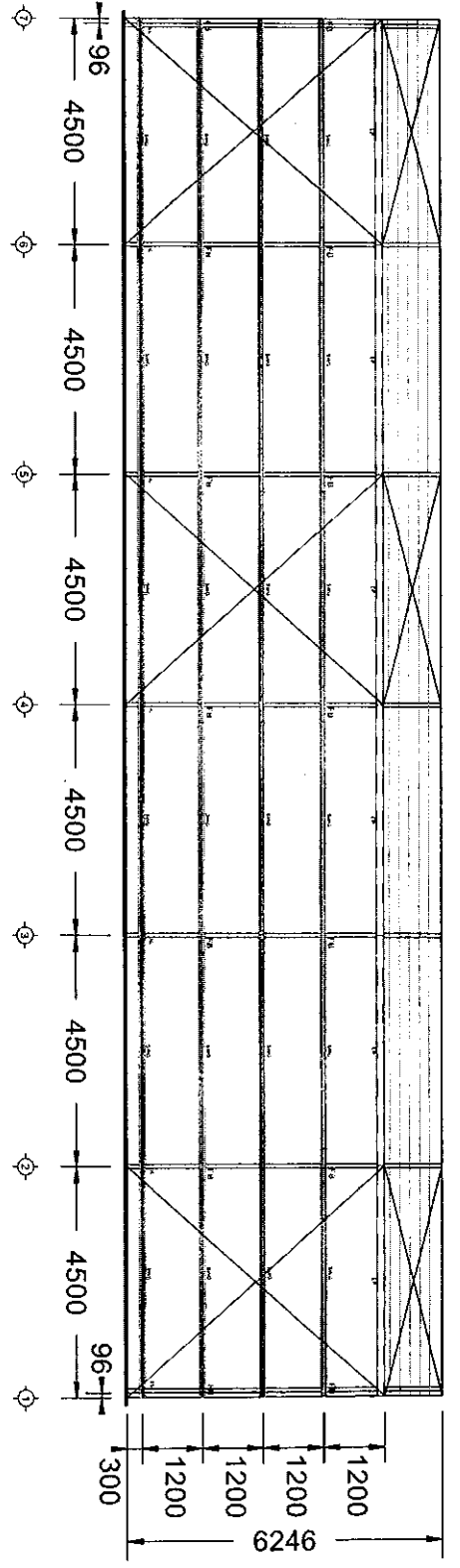


**JOB DETAILS**

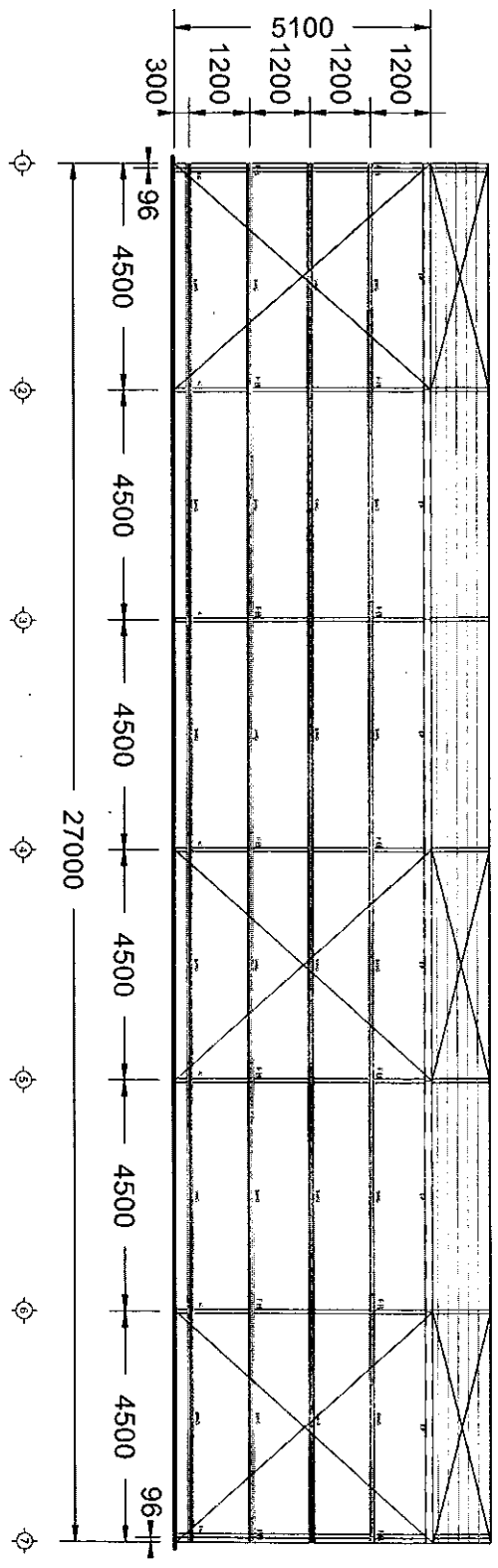
PROPOSED PROJECT: Johns034744 | 130m x 27m x 5.1m - Permeable Building  
 CUSTOMER: Lungham Transport Pty Ltd, Kym Johnson  
 SITE: Lot 17 Davidson Rd, Tambora, QLD, 4478

**DRAWING DETAILS**

DRAWING NO.: AP34744  
 DRAWING TYPE: Engineering Drawing  
 DRAWING SCALE: 1:94



LEFT ELEVATION



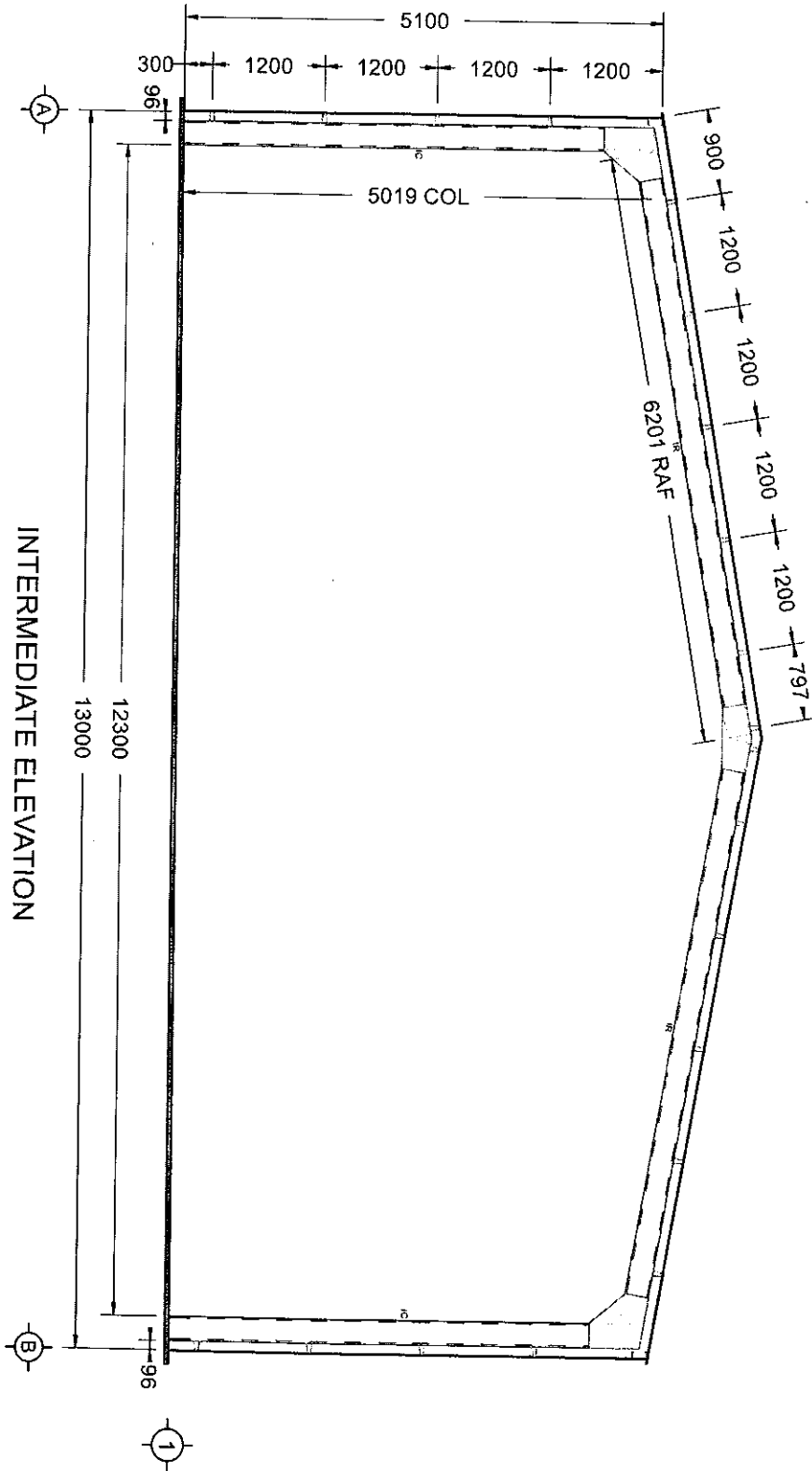
RIGHT ELEVATION

**JOB DETAILS**

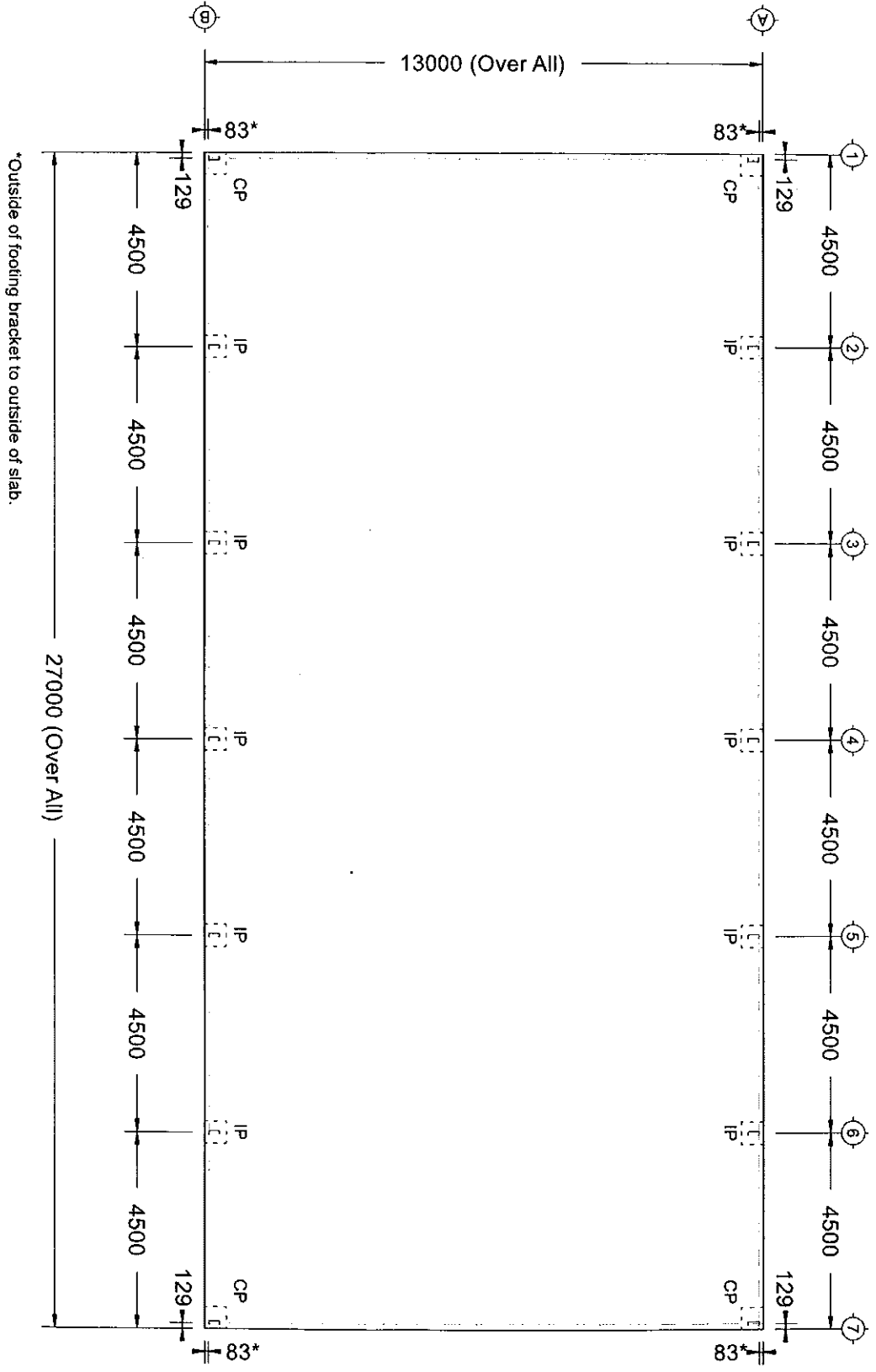
PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.7m - Permeable Building  
 CUSTOMER: Longhorn Transport Pty Ltd, Kym Johnson  
 SITE: Lot 17 Davidson Rd, Tambo, QLD, 4478

**DRAWING DETAILS**

DRAWING NO.: AP94744  
 DRAWING TYPE: Engineering Drawing  
 DRAWING SCALE: 1:47



INTERMEDIATE ELEVATION



\*Outside of footing bracket to outside of slab.

**FLOOR PLAN**

**JOB DETAILS**

PROPOSED PROJECT: Johns034744 | 13m x 27m x 5.1m - Permeable Building  
 CUSTOMER: Longhorn Transport Pty Ltd, Kym Johnson  
 SITE: Lot 17 Davidson Rd, Tambo, QLD, 4478

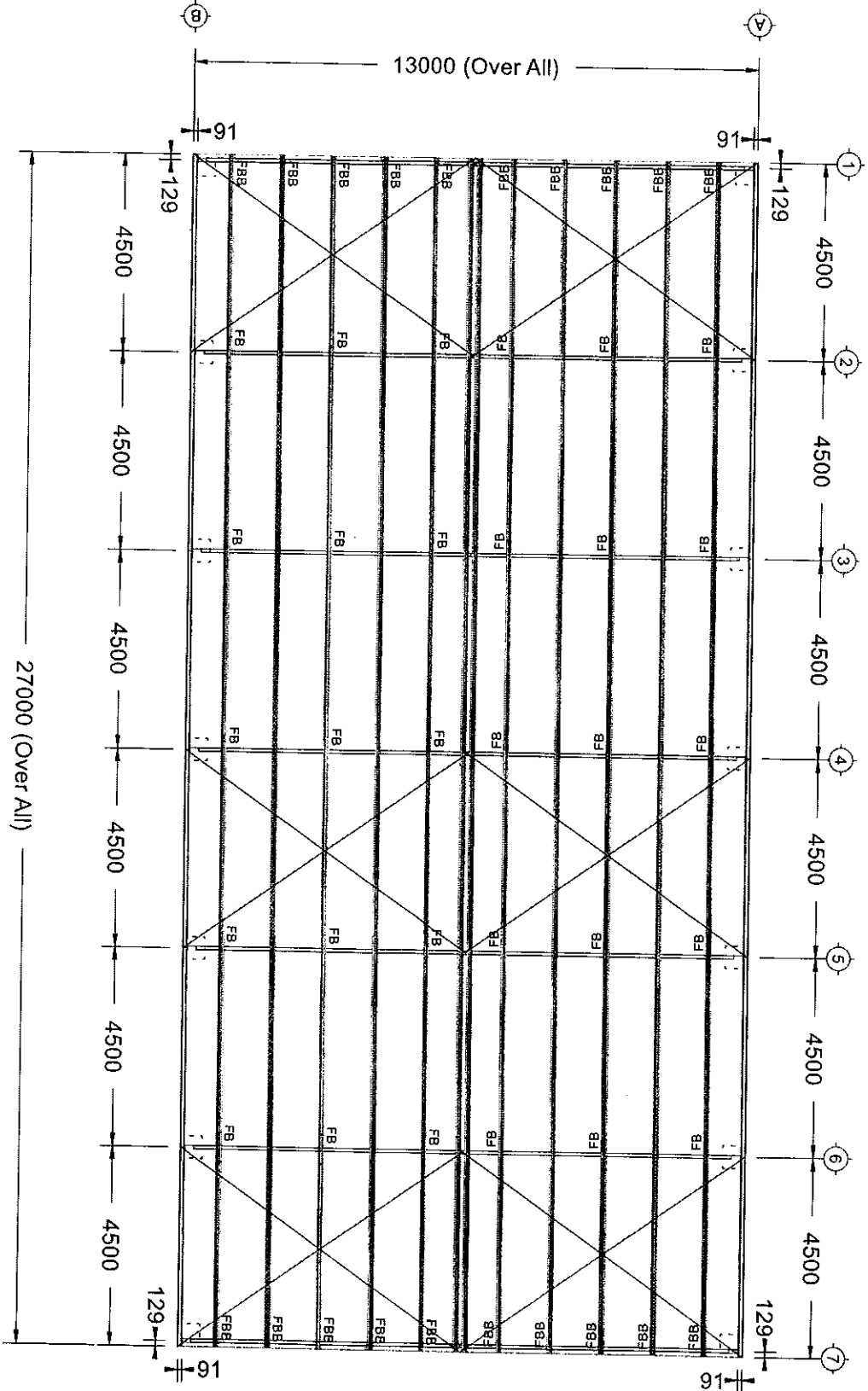
**DRAWING DETAILS**

DRAWING NO.: AP34744  
 DRAWING TYPE: Engineering Drawing  
 DRAWING SCALE: 1:33

<b>CP</b>	Col Size	C25019
	Pier Size	Ø 450 X 1500
<b>IP</b>	Col Size	C25019
	Pier Size	Ø 450 X 1500

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**ROOF PLAN**

**JOB DETAILS**

PROPOSED PROJECT: Johns03474 | 13m x 27m x 5.1m - Permeable Building  
 CUSTOMER: Longdon Transport Pty Ltd, Kyrn Johnson  
 SITE: Lot 17 Davidson Rd, Tambo, QLD, 4478

**DRAWING DETAILS**

DRAWING NO.: AP34744  
 DRAWING TYPE: Engineering Drawing  
 DRAWING SCALE: 1:33

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 23 JUN 2023

## CLIENT DETAILS

**Customer Name** Kym Johnson (Longhorn Transport Pty Ltd) **Job Number** Johns034744  
**Site Address** Lot 17 Davidson Rd, Tambo, QLD, 4478

## BUILDING DETAILS

<b>Width</b>	13000 mm	<b>Length</b>	27000 mm	<b>Eave Height</b>	5100 mm	<b>Roof Pitch</b>	10 Degree
<b>Terrain Cat</b>	2	<b>Wind Region</b>	A	<b>Wind Velocity</b>	45 m/s m/s		
<b>Side Bay Qty</b>	6	<b>Side Bay Width</b>	4500 mm (Max)	<b>End Bay Qty</b>	3	<b>End Bay Width</b>	4333 mm (Max)

## INTERNAL PORTAL FRAME

<b>Internal Column (IC)</b>	C25019
<b>Internal Rafter (IR)</b>	C25019
<b>Knee Brace (KB)</b>	NA
<b>Knee Brace % Eave Height</b>	NA
<b>Apex Brace (AB)</b>	NA
<b>Apex Brace % Width</b>	NA
<b>Open Bay Column</b>	NA

## END PORTAL FRAME

<b>End Column (EC)</b>	C25019
<b>End Rafter (ER)</b>	C25019
<b>Knee Brace (KB)</b>	NA
<b>Knee Brace % Eave Height</b>	NA
<b>Apex Brace (AB)</b>	NA
<b>Apex Brace % Width</b>	NA
<b>End Wall Mullion (EWM)</b>	NA

## PURLINS AND GIRTS

<b>Eave purlin (EP)</b>	C15015				
<b>Side Wall Girts</b>	TH96070	<b>Max Spacing</b>	1300 mm	<b>% Girt Overlap</b>	11.00%
<b>Front End Wall Girts</b>	TH96070	<b>Max Spacing</b>	1300 mm	<b>% Girt Overlap</b>	11.00%
<b>Back End Wall Girts</b>	TH96070	<b>Max Spacing</b>	1300 mm	<b>% Girt Overlap</b>	11.00%
<b>Roof Purlin</b>	TH96070	<b>Max Spacing</b>	1200 mm	<b>% Purlin Overlap</b>	11.00%

## BRACING

<b>Side Wall Cross Bracing</b>	32mm x 1.2mm Steel Strapping	<b>No. of Bays Cross Braced</b>	3 bays
<b>Front End Wall Cross Bracing</b>	32mm x 1.2mm Steel Strapping	<b>No. of Bays Cross Braced</b>	0 bays
<b>Back End Wall Cross Bracing</b>	32mm x 1.2mm Steel Strapping	<b>No. of Bays Cross Braced</b>	0 bays
<b>Roof Cross Bracing</b>	32mm x 1.2mm Steel Strapping	<b>No. of Bays Cross Braced</b>	3 bays

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**BRACING (continued)**

Side Wall Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Column	Every Alternate Row (minimum)
Front End Wall Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Mullion	Every Alternate Row (minimum)
Back End Wall Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Mullion	Every Alternate Row (minimum)
Roof Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Rafter	Every Alternate Row (minimum)

**SHEETING & FLASHINGS**

Roof Cladding Type	Custom Orb 0.47 TCT	Roof Cladding Colour	Zincalume
Wall Cladding Type	Custom Orb 0.47 TCT	Wall Cladding Colour	Zincalume
Gutter Type	FasciaGutter	Gutter Colour	Zincalume
Barge Type	Barge	Barge Colour	Zincalume
Downpipe Type	PVC 90 Round Downpipe	Downpipe Colour	White

**LEFT LEANTO PORTAL FRAME**

Internal Rafter	NA
Internal Column	NA
End Rafter	NA
End Column	NA
Eave Purlin	NA

**RIGHT LEANTO PORTAL FRAME**

Internal Rafter	NA
Internal Column	NA
End Rafter	NA
End Column	NA
Eave Purlin	NA

**BEAMOVER FRAME**

Beamover Beam (Internal)	NA	Beamover Beam (Outer)	NA
Beamover Rafter	NA	Beamover Rafter Apex Brace	NA

**ROLLERDOOR**

Roller Door Width	Upto 3200 mm	Upto 4300 mm	Upto 6000 mm
Roller Door Header	NA	NA	NA
Side Wall Roller Door Jamb	NA	End Wall Roller Door Jamb	NA

**PERSONAL ACCESS DOOR**

Side PA Door Frame	NA	End PA Door Frame	NA
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**METAL SLIDING DOOR**

Metal Sliding Door Header	NA
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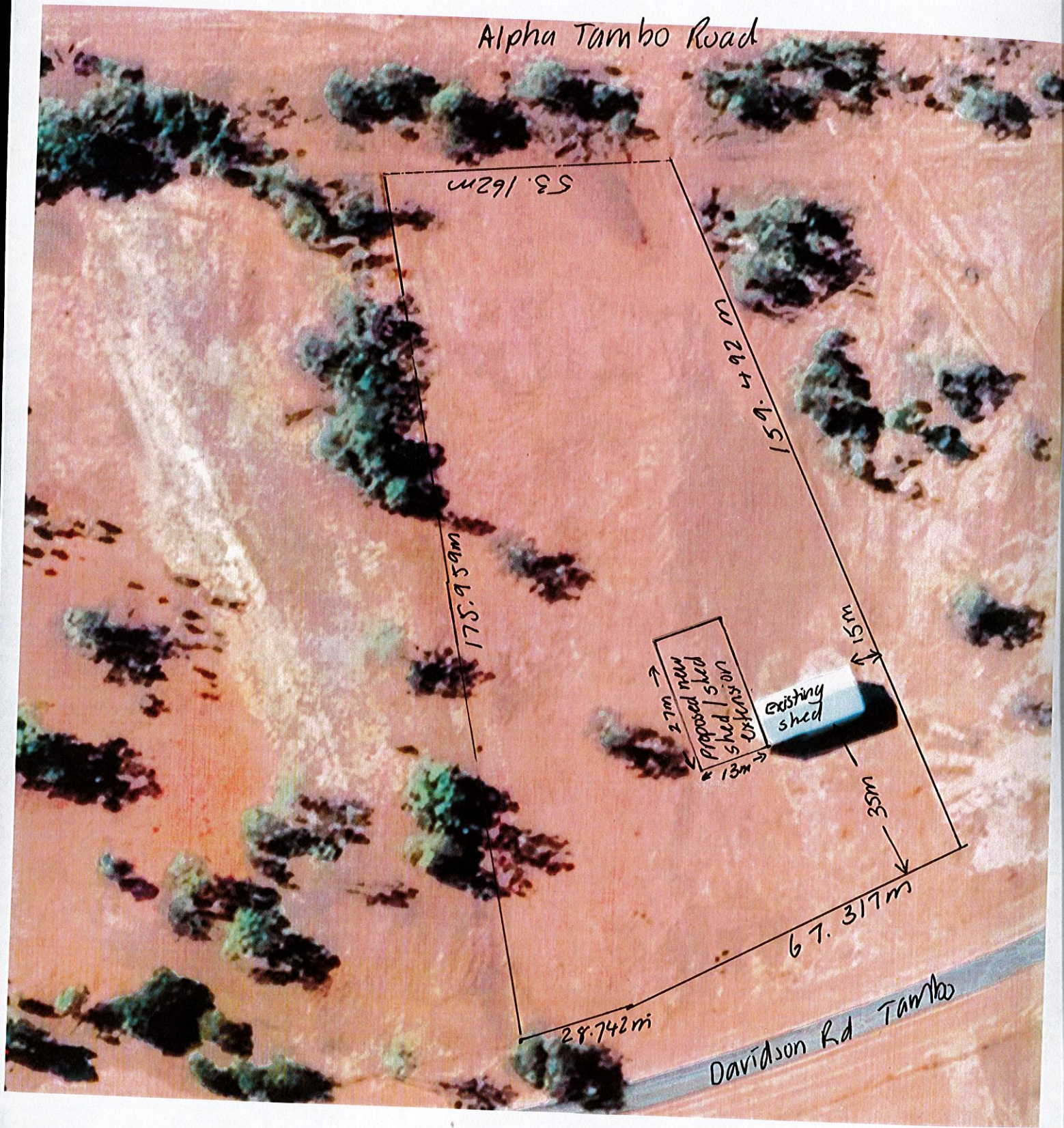
George Zuev

RPEX 755T

23 JUN 2023



Alpha Tambo Road



53.162m

159.492 m

175.959m

27m  
Proposed new  
shed extension  
13m

existing  
shed

15m

35m

67.317m

28.742m

Davidson Rd Tambo




**Code Assessment**


Prepared by Murray & Associates (QLD) Pty Ltd


# Blackall – Tambo Region Planning Scheme


## General Development Code - Planning Scheme Section 6.2.2

What we want to achieve (Performance Outcomes)	One way to achieve it (Acceptable Outcomes)	What could be negotiated	What we don't want to see	Code Assessment
<b>Site Layout</b>				
<p><b>PO1</b> The scale of new buildings and facilities suits its site and its surroundings.</p>	<p><b>AO1</b> New buildings cover less than the following percentage of site area:</p> <ul style="list-style-type: none"> <li>• Township zone (where not in a precinct) - 50%;</li> <li>• Township zone (Commercial precinct) - 90%;</li> <li>• Township zone (Mixed Use precinct) – 50%;</li> <li>• Township zone (Industrial precinct) - 40%;</li> <li>• Recreation and Open Space zone – 10%; and</li> <li>• Rural zone – no acceptable outcome prescribed.</li> </ul>	<p>Total site cover may be able to be increased if proven to provide long term benefits to area – e.g. goods and service store in a Township zone (where not in a precinct).</p>	<p>The scale of new buildings and facilities exceeds what is intended for the site and surrounding area.</p>	<p>The proposed built form makes up less than 40% of the site area.</p> <p>The site is 1.235ha and the proposed built form (new and existing) contains a total area of 468m<sup>2</sup>. Meaning only 3.79% of the site will be covered.</p>
<p>Editor's note—The following animation is included to provide an illustrated indication of how the acceptable outcome could be met.</p> <div style="text-align: center;">  <p><a href="#">View animated code provision.</a></p> </div>				




<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
<b>PO2</b> Setbacks for buildings and structures for the front, side and rear are in keeping with other nearby buildings.	<b>AO2.1</b> Setbacks are to meet the Building Code of Australia requirements (including any variations as per the Queensland Development Code).  <b>AO2.2</b> Setbacks are to allow for off street parking and vehicle movement, and in the Commercial precinct, off street parking is located at the rear of buildings to allow for easy vehicle movement and access.	Sometimes different setbacks are needed depending on the site layout or the type of new buildings proposed. It is important to make sure that reductions in setbacks don't impose on other properties, make it difficult for others to then use their properties, or go against what is common in the street/surrounding area.	Building or site layout that means others can't use their properties properly, or that means the streetscape would look substantially different if the proposed new buildings or facilities were approved.	The sheds (existing and proposed) are generously setback from all site boundaries and the proposed building height is deemed appropriate for the location and nature of the use (15m to southern boundary and 35m to eastern boundary).
Editor's note—The following animation is included to provide an illustrated indication of how the acceptable outcome could be met.  <div style="text-align: center;">   <a href="#">View animated code provision.</a> </div>				

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
<b>PO3</b> Landscaping is provided to improve the presentation of the property – including, wherever possible, keeping existing trees that provide good shade.	<b>AO3.1</b> Except in the Commercial precinct and the Rural zone, a minimum of 10% of the total area for new buildings and facilities is landscaped.  <b>AO3.2</b> In all areas, keep, or provide and maintain, shade trees and shrubs on the site – not just grass and shrubs.	Slight reductions in landscaping on site if it is offset in some other way that still provides good amenity and heat reduction.	Landscaping which doesn't improve the appeal of the surrounding streetscape and existing buildings – e.g. concrete dominating the site.	No major landscaping is proposed given the natural composition of the site and the lack of a concrete-dominated landscape. Shade will be provided by the sheds and existing trees onsite. The existing trees onsite are to remain. No clearing is proposed.  Fencing is compliant with council height requirements. General positioning and the visual amenity of which does not detract from the overall aesthetics of the area. The exact material composition of the fence is wire, star pickets and steel bracing posts at the corners.
Editor's note—The following animation is included to provide an illustrated indication of how the acceptable outcome could be met.  <div style="text-align: center;">   <a href="#">View animated code provision.</a> </div>				
<b>Building Design</b>				

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
<b>PO4</b> Building height is similar to the other buildings in town and around the Blackall-Tambo Region.	<b>AO4</b> New buildings are less than the following heights: <ul style="list-style-type: none"> <li>• Township zone (other than in the Industrial precinct) – 2 storeys or 8.5m above ground level;</li> <li>• Township zone (Industrial precinct) – 15m above ground level;</li> <li>• Rural zone – no acceptable outcome provided; and</li> <li>• Recreation and Open Space zone – 8.5m above ground level.</li> </ul>	The height of a building can be higher if it needs to be for a particular purpose – e.g. a church steeple, or a concrete batching plant.	Buildings higher than stated.	Both sheds proposed (new and existing) are less than the prescribed 15m maximum.
Editor's note—The following animation is included to provide an illustrated indication of how the acceptable outcome could be met. <div style="text-align: center;">  <p><a href="#">View animated code provision.</a></p> </div>				
<b>PO5</b> New buildings have a similar look and feel to any surrounding buildings, and look like they belong in the local area.	<b>AO5.1</b> In the Township zone (other than in the Commercial precinct, Industrial precinct and Mixed Use precinct), new buildings include at least 3 of the following: <ul style="list-style-type: none"> <li>• verandas or porches;</li> <li>• awnings and shade structures;</li> <li>• variations to the roof and building lines;</li> <li>• recesses and projections of the external facade;</li> <li>• doors and window openings;</li> <li>• a range of building materials, colours and textures matching or complementing those prevailing in neighbouring buildings; or</li> </ul>	Commercial and industrial buildings might need to look a certain way because of what they are used for (e.g. a service station, or a warehouse) – but buildings in these	Building designs which do not reflect the surrounding buildings, or contribute poorly to the streetscape.	Not applicable.  Development within Industrial Precinct.




<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
	<ul style="list-style-type: none"> <li>windows or other design features which overlook the street to allow for passive surveillance.</li> </ul> <p><b>AO5.2</b> In the Commercial precinct, new buildings will:</p> <ul style="list-style-type: none"> <li>provide for tenancies fronting the street</li> <li>provide an awning over the full length of the building frontage and setback a maximum of 0.25 metres from the kerb line</li> <li>at the ground storey, a minimum of 65% of building frontage is provided as predominantly transparent windows or glazed doors and a maximum of 35% as solid façade.</li> </ul> <p>Editor's note—Refer to PO25 related to retention/reuse of existing commercial buildings.</p>	areas should still look and feel similar to other buildings in the local area.		Not applicable.  Development is not within the commercial precinct.
Editor's note—The following animation is included to provide an illustrated indication of how the acceptable outcome could be met. <div style="text-align: center;">  <p><a href="#">View animated code provision.</a></p> </div>				
<b>PO6</b> New buildings include design features which allow for passive surveillance of the				Complies.  The environmental design of the proposed development allows for crime prevention via passive surveillance of both the front and rear

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
streetscape and measures that increase the safety of the neighbourhood.				<p>of the subject site via open sided sheds. The area is relatively low traffic and therefore, unusual movements of vehicles and/or people will be easily identified and surveilled by employees onsite.</p> <p>The site is designed to have all operations consolidated to one portion of the subject site to maximise the ability to undertake passive surveillance and maximise convenience for employees.</p>
<b>Dual Occupancy and Multiple Dwelling</b>				
<b>PO7</b> Dual occupancy and multiple dwellings are built to a high standard and look like they belong in the local area, by using similar design features and layout to other nearby buildings.	<b>AO7.1</b> New buildings use high standards of design which reflects surrounding residential buildings.  In particular, new buildings have at least one of these roof types with a pitch of 20 degrees or greater: <ul style="list-style-type: none"> <li>• skillion</li> <li>• gable</li> <li>• hipped; or</li> <li>• pitched.</li> </ul> <b>AO7.2</b> Each dwelling includes the following design elements:	Sometimes newer buildings can look different to the surrounding area because of advances in architecture and building design. The design of new buildings should try as much as possible to complement	Buildings that look like 'dongers' or trailer homes.  Poor design and layout – e.g. poor positioning of car parks (stopping doors from opening fully	Not applicable.  The proposed development is not for a dual occupancy or multiple dwelling development.

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
	<ul style="list-style-type: none"> <li>• a visible entry (i.e. a front door) from the main street frontage</li> <li>• bathroom, laundry and toilet windows which are located to offer privacy from the street and other dwellings on the premises</li> <li>• privacy screening to adjacent neighbours, either through landscaping or screen structures</li> <li>• on-site parking provided at the side or rear of the site.</li> </ul>	the area they are located in.	or driveways leading onto intersections, or poor vehicle circulation designs.  Poor and/or lack of privacy and shading.	
<b>Additional uses on the same site (Ancillary uses)</b>				
<b>PO8</b> In areas other than the Rural zone, additional buildings such as sheds, which support or do not dominate the purpose of the main building/s are reasonable in size and function.  Editor's note— Development on the same premises as an	<b>AO8</b> In areas other than the Rural zone, ancillary buildings are not more than 10% of the floor area of the main building/s on the premises.	It is important that an additional building or use doesn't dominate the site it is on, or the purpose of the original building, unless it is supporting the function of the building/s.  Additional uses on the same site in the Rural zone	Additional buildings with a gross floor area over 10% of the main building and do not support the use of the main building/s and streetscape.	Not applicable.  No ancillary use proposed.




<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
existing use that does not support that purpose, or dominates it, is considered a new use.		may be a material change of use.		
Editor's note—The following animation is included to provide an illustrated indication of how the acceptable outcome could be met. <div style="text-align: center;">    <a href="#">View animated code provision.</a> </div>				
<b>Traffic, access, manoeuvring and parking</b>				
<b>PO9</b> Expected increases in traffic volume are properly managed and mitigated.	<b>AO9.1</b> Local transport and traffic design standards/local laws are met.  <b>PO9.2</b> Development makes sure that: <ul style="list-style-type: none"> <li>• local and residential roads are used only for local traffic; and</li> <li>• traffic or freight movement on local and residential roads is avoided.</li> </ul>	Some uses may need to utilise local or residential roads for short or limited heavy vehicle movements, so actual impact will be a consideration in the assessment.  Some uses may create a lot of	Flows of heavy vehicle or significantly increased traffic along residential streets that could create unacceptable noise or inconvenience to residents, or impact on the condition	Complies.  The increase in traffic from the proposed development is expected to be minimal. Given the proposed use is low trip generating. The proposed development will not overload any of the nearby roadways.  The proposed development will employ three (3) persons who will park within the staff parking area outlined at Appendix C of the associated Planning Report No 400632, prepared by Murray & Associates (Qld) Pty Ltd.

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>								
		new vehicle movements, and these will need to be analysed against traffic standards as part of the assessment process.	of rural roads by heavy vehicles.	Vehicles associated with the subject site do not have to traverse any residential roads to reach the subject site.								
<b>PO10</b> Sufficient parking spaces are provided for the use.	<b>AO10.1</b> Car parking is provided as per the rates in Table 6.2.2.1.  <b>AO10.2</b> On-street parking is maintained.	If there is no building work (and it is just a change of use), reductions in on-site parking can be considered.	Poor or lack of onsite parking.  Reductions in on-street parking, unless more is provided on site.	Complies.  The outlined minimum carparking rate of nine (9) car parks is provided at the southeast of the lot (see Appendix C of the associated Planning Report, No. 400632 prepared by Murray & Associates [Qld] Pty Ltd).								
<b>Table 6.2.2.1 Car parking requirements</b> <table border="1" data-bbox="206 1134 1451 1361"> <thead> <tr> <th data-bbox="206 1134 658 1187">Use</th> <th data-bbox="658 1134 1451 1187">Requirements</th> </tr> </thead> <tbody> <tr> <td data-bbox="206 1187 658 1235">Childcare Centre</td> <td data-bbox="658 1187 1451 1235">1 space for every employee, and 1 space for every 4 children.</td> </tr> <tr> <td data-bbox="206 1235 658 1283">Commercial activities</td> <td data-bbox="658 1235 1451 1283">1 space per 50m<sup>2</sup> of gross floor area.</td> </tr> <tr> <td data-bbox="206 1283 658 1361">Dual Occupancy</td> <td data-bbox="658 1283 1451 1361">1 covered space for every 2 bedrooms, plus 1 space for every additional bedroom.</td> </tr> </tbody> </table>				Use	Requirements	Childcare Centre	1 space for every employee, and 1 space for every 4 children.	Commercial activities	1 space per 50m <sup>2</sup> of gross floor area.	Dual Occupancy	1 covered space for every 2 bedrooms, plus 1 space for every additional bedroom.	
Use	Requirements											
Childcare Centre	1 space for every employee, and 1 space for every 4 children.											
Commercial activities	1 space per 50m <sup>2</sup> of gross floor area.											
Dual Occupancy	1 covered space for every 2 bedrooms, plus 1 space for every additional bedroom.											

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
Dwelling house	1 covered space per dwelling.			
Dwelling unit	1 covered space per dwelling unit.			
Home-based business	1 space of additional parking to be provided for the dwelling.			
Industrial activities	1 space per 50m <sup>2</sup> of gross floor area for the first 1000m <sup>2</sup> and 1 additional space per 100m <sup>2</sup> of gross floor area exceeding 1000m <sup>2</sup> .			
Multiple dwelling	1 covered space for every 2 bedrooms, plus 1 space for every additional bedroom.			
Non-resident workforce accommodation	1 space per unit plus 1 visitor space per every 5 units.			
Rural activities	1 space per 100m <sup>2</sup> of gross floor area			
Service station	1 space per 30m <sup>2</sup> site area.			
Short-term accommodation	1 covered space per guestroom or suite, 1 additional space per 30m <sup>2</sup> of gross dining area, and 1 space per employee.			
Tourist park	1 space per site, plus 1 extra space for every 3 sites.			
All other uses	Sufficient spaces to accommodate the amount of vehicle traffic likely to be generated by the particular use.			
Editor's note—The following animation is included to provide an illustrated indication of how the acceptable outcome could be met.				



<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
 <a href="#">View animated code provision.</a>				
<p><b>PO11</b> Vehicle access and movement is:</p> <ul style="list-style-type: none"> <li>• easy and safe;</li> <li>• does not create problems for the external road network; and</li> <li>• provides safe pedestrian access – this includes access for people with a disability.</li> </ul>	<p><b>AO11.1</b> Car parking and manoeuvring areas are designed to comply with:</p> <ul style="list-style-type: none"> <li>• AS2890.1 – Parking Facilities; and</li> <li>• <a href="#">Austroads Publication AP-G34-13 – Austroads Design Vehicles and Turning Path Templates.</a></li> </ul> <p><b>AO11.2</b> Avoid conflict with obstacles which may obstruct parking – e.g. manholes, power poles, vegetation, bus stops, gully pits and other obstacles.</p> <p><b>AO11.3</b> Vehicle crossovers are to be designed as per Figures 1 or 2 below.</p> <p><b>AO11.4</b> The minimum distance between a driveway and an intersection connecting to another street is 6m, and driveway access is provided from the quietest/smallest road frontage available.</p>		<p>Tight parking which reduces manoeuvring – both on premises and on-street.</p> <p>Lack of safe pedestrian access and parking for people with disabilities.</p> <p>Obstacles on or near driveway – e.g. bus stops, man holes etc.</p> <p>Driveway is poorly positioned and is not safe – e.g. within 6m of an intersection with another</p>	<p>Complies.</p> <p>The proposed staff carpark and truck parks are positioned to allow for convenient and safe ingress and egress.</p> <p>The existing vehicle access to the site are appropriately designed. Davidson Road is currently a formed dirt road.</p>

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
			street or leads onto a busy road.	
<b>Off-site impacts</b>				
<b>PO12</b> Development avoids air, light and noise pollution which impacts the surrounding occupants, environment and streetscape.	<b>AO12.1</b> Industrial and commercial activity adhere to air, light and noise pollution requirements.  Editor's note—Reports prepared to justify compliance with AO12.1 should follow best practice, such as the guidelines in the Department of Environment and Science's Noise Measurement Manual, National Environment Protection (Ambient Air Quality) Measure (NEPC 1998), AS/NZS 1269 Set: Occupational Noise Management Set and Australian Standard 1055.2:1997 – Acoustics – Description and measurement of environment noise.  <b>AO12.2</b> New buildings and facilities include measures to reduce the impacts of air, light and noise pollution if situated along busy roads and/or near areas of industrial and/or commercial activity – such as sound dampening in walls, or acoustic barriers.	Depending on where new buildings or facilities are located, or what is actually proposed, these requirements might not be required.  E.g. In a very remote area, noise might not be an issue.	New buildings or facilities that increase pre-existing levels of air, noise, or other pollutants in areas where other residents might be affected.  New buildings situated along busy roads which do not minimise the impacts from air and noise pollution caused by	Complies.  The proposed development will have no adverse impacts on surrounding properties in terms of noise, air, and light pollution. The proposed Transport depot will operate on weekdays between 8am and 5pm, which are regular business hours for the Industrial area of Tambo.  Trucks will not use air-braking when entering or exiting the site.  The surrounding roads are not considered busy/near capacity and therefore, the effects of transport-related pollutants affecting the proposed development are minimal, if not non-existent.

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
			large amounts of traffic.	
<b>Infrastructure and Services</b>				
<b>PO13</b> Suitable connections to power and telecommunications are provided.	<b>AO13</b> Telecommunications and power supplies are designed to meet provider requirements.			Complies.  Reticulated telecommunications are provided to the site via a Telstra telecommunications cable running under Davidson Road.
<b>PO14</b> Adequate supply of potable water is provided to the premises, and new buildings are designed to be able to appropriately treat and dispose of	<b>AO14.1</b> In the Township zone, all new buildings are connected to Blackall-Tambo Regional Council's reticulated water supply network in accordance with: <ul style="list-style-type: none"> <li>Water Services Association of Australia (WSAA), 2011, "WSA 03-11 Water Supply Code of Australia" Version 3.1; and</li> </ul>			Complies.  Reticulated water is available at the property and will be extended to service the newly proposed shed.



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effluent and other waste water.	<ul style="list-style-type: none"> <li>• Queensland Department of Energy and Water Supply, 2010, Planning Guidelines for Water Supply and Sewerage.</li> </ul> <p><b>AO14.2</b> In the Recreation and Open Space zone and Rural zone, a potable water supply is provided.</p> <p><b>AO14.3</b> In the Township zone, all new buildings and facilities are connected to a reticulated sewerage network, where available.</p> <p><b>AO14.4</b> In the Recreation and Open Space zone and Rural zone, or in the Township zone where a reticulated sewerage network is not available, sewage disposal is provided generally in accordance with the Queensland Plumbing and Wastewater Code.</p>			The two sheds will be connected to an on-site effluent management system.
<p><b>PO15</b> Stormwater is collected and discharged to ensure no impacts on adjoining land, or Council or state infrastructure, while also ensuring environmental</p>	<p><b>AO15</b> Stormwater drainage is provided in accordance with:</p> <ul style="list-style-type: none"> <li>• Queensland urban drainage manual, 3rd Edition, Queensland Department of Energy and Water Supply, 2013; and</li> <li>• Pilgrim, DH, (ed)., Australian Rainfall &amp; Runoff – A Guide to Flood Estimation, Institution of Engineers, Australia, Barton, ACT, 1987.</li> </ul>			<p>Complies.</p> <p>As it currently does, stormwater is to dissipate via overland flow toward the frontage and rear of the property without causing any adverse effects to the surrounding lots.</p>

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
values of receiving waters are maintained.				
<b>Council assets</b>				
<b>PO16</b> Council infrastructure is protected from encroachment or interference.	<b>AO16.1</b> All building proposals are clear of Council easements and underground infrastructure within site boundaries.  <b>AO16.2</b> All invert crossing(s) and driveways are clear of all gully pits, street lights, power poles and other infrastructure located within the road reserve with a minimum separation distance of 1 metre.		New buildings that impact the function and use of Blackall-Tambo Regional Council assets.	Complies.  There are no Council assets present on the subject site.
<b>Development located in a Bushfire Prone Area</b>				
<b>PO17</b> Vulnerable uses, essential service uses and hazardous chemical facility uses are not established or intensified within a bushfire prone area.				Not applicable.  The subject site is not considered a Bushfire Prone Area.
<b>PO18</b> Development in a bushfire prone	<b>AO18.1</b> New buildings and facilities are not situated in a bushfire prone area as identified on <a href="#">SPP mapping</a> –			Not applicable.  See above response to PO17.

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
area, or intensification of existing uses in a bushfire prone area, is avoided, or, the risk to people and property from bushfire is mitigated to an acceptable or tolerable level.	<p><a href="#">Safety and Resilience to Hazards (Natural Hazards Risk and Resilience – Bushfire Prone Area)</a></p> <p>OR</p> <p><b>AO18.2</b>            Development mitigates the risk to people and property from bushfire to an acceptable or tolerable level by:</p> <ul style="list-style-type: none"> <li>• Incorporating an adequate bushfire defensible space between buildings and hazardous vegetation; and</li> <li>• Providing safe evacuation routes for occupants and access for emergency services; and</li> <li>• Providing a dedicated static water supply available for fire fighting; and</li> <li>• Does not create additional bushfire risk through revegetation or landscaping.</li> </ul>		New buildings in bushfire prone areas.	
<p><b>PO19</b>            Emergency services and community infrastructure continue to function effectively during and immediately after a bushfire event.</p>	<p><b>AO19.1</b>            Emergency services and community infrastructure is not located in a bushfire prone area as identified on <a href="#">SPP mapping – Safety and Resilience to Hazards (Natural Hazards Risk and Resilience – Bushfire Prone Area)</a>.</p>		Emergency services cannot function in or access the area, facility or building.	Not applicable.  See response to PO17.
<p><b>PO20</b></p>	<p><b>AO20.1</b></p>			



<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
Development avoids or mitigates the bushfire risk from manufacture or storage of hazardous materials within a bushfire prone area.	<p>Hazardous materials are not stored or manufactured in a bushfire prone area as identified on <a href="#">SPP mapping – Safety and Resilience to Hazards (Natural Hazards Risk and Resilience – Bushfire Prone Area)</a></p> <p>OR</p> <p><b>AO20.2</b> Buildings and structures used for the manufacture or storage of hazardous materials are designed to prevent exposure of the hazardous materials in the event of a bushfire</p> <p>Editor's note—Refer to the <i>Work Health and Safety Act 2011</i> and associated Regulation and Guidelines; the <i>Environmental Protection Act 1994</i>; and the relevant building assessment provisions under the <i>Building Act 1975</i> for requirements related to the manufacture and storage of hazardous substances. Information is provided by Business Queensland on the requirements for storing and transporting hazardous chemicals, available at <a href="http://www.business.qld.gov.au/running-business/protecting-business/risk-management/hazardous-chemicals/storing-transporting">www.business.qld.gov.au/running-business/protecting-business/risk-management/hazardous-chemicals/storing-transporting</a></p>		New buildings or activities involving manufacture or storage of hazardous materials in bulk in a bushfire prone area.	
<b>Development located in a Flood Hazard Area</b>				
<b>PO21</b> People and property are not exposed to	<b>AO21.1</b> New development is: <ul style="list-style-type: none"> <li>situated outside of mapped flood areas identified in <b><u>Schedule 2 – Flood mapping</u></b>; or</li> </ul>		Uses and activities that are incompatible	Not applicable.  The subject site is not considered a Flood Prone Area.

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
intolerable risk from flood hazards.	<ul style="list-style-type: none"> <li>if within a mapped flood area, a fit for purpose risk assessment is conducted to ensure that development in that area does not increase risk beyond a tolerable level.</li> </ul> <p><b>AO21.2</b>            New buildings in a mapped flood area identified in <b>Schedule 2 – Flood mapping</b> should include a finished floor level 300mm higher than the defined flood level for that area.</p> <p>Editor's note—Refer to Council resolution in <b>Schedule 4</b>.</p> <p><b>AO21.3</b>            If located in a mapped flood area identified in <b>Schedule 2 – Flood mapping</b>, at least one evacuation route is provided which allows safe passage for emergency evacuation during flood events (this must be sufficient to cater for evacuation and emergency access).<sup>1</sup></p> <p><b>AO21.4</b>            If located in a mapped flood area identified in <b>Schedule 2 – Flood mapping</b>, hazardous materials are not stored on site, or are stored so the release of the hazardous materials is prevented.</p>		with the flood risk present.  The development relies on evacuation routes that are subjected to flooding.  Infrastructure and essential community services are unable to function during and following a flood event.  New buildings that increase the vulnerability of people located	

<sup>1</sup> The State Planning Policy – state interest guidance material for Natural hazard, risk and resilience – flood provides specifications for evacuation routes. Refer to <https://dilgpprd.blob.core.windows.net/general/spp-guidance-natural-hazards-risk-resilience-flood.pdf>.

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
	<p><b>AO21.5</b>            Development in a mapped flood area identified in <b>Schedule 2 – Flood mapping</b> does not:</p> <ul style="list-style-type: none"> <li>alter a watercourse or floodway, including by clearing vegetation; or</li> <li>involve filling or excavating greater than 10m<sup>3</sup>.</li> </ul> <p><b>AO21.6</b>            Development maintains the protective function of landforms and vegetation to lessen the flood risk.</p>		<p>in a flood hazard area.</p> <p>New buildings which impede or restrict the response of emergency services before, during and after a hazard event.</p> <p>New buildings or facilities that significantly increases the intensity of use and users in a hazard area.</p>	
<p><b>PO22</b>            Essential community services and infrastructure continue to be functional during</p>	<p><b>AO22</b>            Community infrastructure is located in accordance with community infrastructure flood immunity standards identified in the <a href="#">SPP guidance material on Natural hazards, risk and resilience - flood</a>.</p>		<p>Essential services like hospitals, substations, or water treatment</p>	<p>Not applicable.</p> <p>The subject site is not considered a Flood Prone Area.</p>



<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
and after a flood event.			plants placed where they might be adversely affected by flooding	


<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
<b>Stock Route Network</b>				

<p><b>PO23</b></p> <p>Stock routes are able to operate efficiently and safely without impact or interference from buildings, operations, or accesses, including without disruptions caused by proximity of sensitive land uses like residential or commercial uses.</p> <p>Editor's note— Pasturage rights exist where the mapped Stock Route Network adjoins a term lease for pastoral purposes. Section 432 of the <i>Land Act 1994</i> provides guidance on the extent to which the pasturage rights overlap the adjoining lease area in this instance.</p> <p>Editor's note— Conditions required by a lease or permit relating to travelling</p>	<p><b>AO23.1</b></p> <p>Development occurring adjacent to or nearby a stock route identified in <a href="#">SPP mapping – Economic Development (Agriculture – Stock Route Network)</a> should not impact the operation and safety of the stock route.</p> <p><b>AO23.2</b></p> <p>The stock route is to be easily accessible at all times by stock route users.</p>		<p>Development that makes it more difficult for people to access the stock route network or otherwise makes use of the route more challenging, or impacts the safety of the route— e.g.non-rural or residential activities within the 800m designated pasturage rights area either side of an unsurveyed road or stock route and access points across the stock route should be limited to one access per</p>	<p>Not applicable.</p> <p>Dawson Developmental Road is identified as a Minor and unused Stock Route as per the Queensland Bamaga Stock Route Network November 2016 (Department of Resources). The proposed development will have no adverse impact on the safe and effective operation of Dawson Developmental Road and the traffic associated with the proposed development will definitely not overload the network.</p> <p>The proposed development is for a transport depot associated with a cattle-hauling company. As such, the proposed development is suitable located nearby the Minor and unused Stock Route.</p>
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<p>stock, pastures for the use of depasturing travelling stock, or fencing, are complied with in accordance with the <i>Stock Route Management Act 2002</i>.</p>			<p>200m of lot frontage.</p>	
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<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
<b>Petroleum/high pressure gas pipelines</b>				
<b>PO24</b> Pipelines carrying petroleum and gas continue to operate without impact.  Editor's note—The holder of the Pipeline Licence or Petroleum Facility Licence must be consulted prior to activities in those areas in accordance with sections 807 and 808 of <i>Petroleum and Gas (Production and Safety) Act 2004</i> .	<b>AO24</b> New buildings are not situated within 200m of petroleum and gas pipelines or easements as identified on <a href="#">SPP mapping – Safety and Resilience to Hazards (Emissions and Hazardous Activities – High Pressure Gas Pipelines)</a> .		New buildings within 200m of petroleum and gas pipelines or easements.	Not applicable.  There are no gas pipelines identified within 200m of the subject site.
<b>Local heritage places</b>				
<b>PO25</b> Heritage places, and other buildings that give the town its character, are kept in place wherever possible or re-used as a means to reflect	<b>AO25.1</b> Development: <ul style="list-style-type: none"> <li>• does not impact, destroy or modify any local heritage place identified in <b>Table SC3.1–Local Heritage Place of Schedule 3</b> and requires no building or operational work; or</li> </ul>	As a means to encourage retention and refurbishment of older buildings (particularly in commercial areas), re-use of older buildings	Development which either impacts, destroys or modifies the value, use, facilities and significance of	Not applicable.  The proposed development is not within vicinity of a local heritage area.

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
local values and cultural heritage.	<ul style="list-style-type: none"> <li>is in accordance with current best practice guidance as made under the <i>Queensland Heritage Act 1992</i> in relation to development of heritage places<sup>2</sup>; or</li> <li>is undertaken in accordance with an exemption certificate issued under the <i>Queensland Heritage Act 1992</i>.</li> </ul> <p><b>AO25.2</b> Demolition or removal of key parts of the place's cultural heritage significance is avoided unless there is no prudent and reasonable alternative to demolition or removal.</p> <p>Editor's note—Reports prepared to justify compliance with the AO above must be prepared by suitably qualified consultants, such as conservation architects or engineers, and detail alternative options investigated. The report must also provide an archival record to document the proposed changes.</p>	could be accompanied by reductions in car parking requirements for the new use.	local heritage places.  Undertaking development (including demolition) without having an exemption certificate, or without suitable assessment by Council.	
Editor's note—The following animation is included to provide an illustrated indication of how the acceptable outcome could be met.  <div style="text-align: center;">   <a href="#">View animated code provision.</a> </div>				

<sup>2</sup> This is presently the guideline 'Developing reuse places - using the development criteria' prepared by the then department of Environment and Heritage Protection. It is available at <https://www.qld.gov.au/environment/assets/documents/land/heritage/gl-heritage-development.pdf>.

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
<b>Biodiversity</b>				
<p><b>PO26</b> State environmentally significant areas are protected, not encroached upon, or otherwise degraded, with vegetation and wildlife movement corridors maintained.</p> <p>Note—Where it is demonstrated that adverse impacts cannot be avoided or minimised, significant residual impacts on matters of state environmental significance may require an offset in accordance with the <i>Environmental Offsets Act 2014</i>.</p>	<p><b>AO26</b> Development occurring outside of the Township zone must be 100m from the bank of all waterways, water storages and areas identified as Matters of State Environmental Significance as identified in <a href="#">SPP mapping – Environment and Heritage (Biodiversity)</a>.</p>		<p>New development in areas of environmental significance that are identified by the State Planning Policy.</p> <p>New buildings within 100m of the banks of waterways, water storages and areas identified as Matters of State Environmental Significance.</p> <p>Activities which negatively impact the</p>	<p>Complies.</p> <p>The site is identified as containing Category A or B area that is a least concern regional ecosystem as per the Queensland Government's Online Development Assessment Mapping System.</p> <p>Given there is no clearing proposed and no new species being introduced, the proposal is compliant with PO26.</p> <p>There are no waterways onsite.</p>



<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
			environment or negatively impact ecological connectivity.	
<b>Airports and Aviation facilities</b>				
<p><b>PO27</b> The Blackall airport, Tambo airport and aviation facilities can operate as normal without impact from development.</p> <p>Note—Refer to the SPP Mapping – Strategic Airports and Aviation Facilities for infrastructure of State significance to be protected.</p> <p>Editor's note-As at the adoption of this planning scheme, no Strategic Airports and Aviation Facilities of State significance have been identified</p>	<p><b>AO27.1</b> Development situated within the building restricted area for an aviation facility must not:</p> <ul style="list-style-type: none"> <li>• disrupt the line of sight between the antenna by physical obstructions;</li> <li>• create electrical or electromagnet fields which interfere with signals transmitted by the facility; or</li> <li>• include reflective surfaces that could deflect or interfere with signals transmitted by the facility.</li> </ul> <p><b>AO27.2</b> Development and associated activities must not:</p> <ul style="list-style-type: none"> <li>• create a permanent or temporary physical or transient intrusion into an airport's operational airspace, unless the intrusion is approved in accordance with the relevant federal legislation;</li> <li>• include a light source or reflective surfaces that could distract or confuse pilots approaching the airport to land;</li> <li>• cause emissions which significantly increase air turbulence, reduce visibility or compromise the</li> </ul>		Any sort of development which may interfere with the function of airports and aviation facilities	<p>Not applicable.</p> <p>The proposed development will have no adverse effects on the safe and effective operation of the Tambo airport.</p>

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>What could be negotiated</b>	<b>What we don't want to see</b>	<b>Code Assessment</b>
<p>in the planning scheme area, however the function of Blackall-Tambo Regional Council's airport infrastructure and aviation facilities must also be protected.</p>	<p>operation of aircraft engines the operational airspace of an airport;</p> <ul style="list-style-type: none"> <li>• attract wildlife or increase wildlife hazards to the operational airspace of the airport or the airport land;</li> <li>• increase the number of people living, working or congregating in the Public Safety Area; or</li> <li>• involve the manufacture, use or storage of flammable, explosive, hazardous or noxious materials in the Public Safety Area</li> </ul> <p>Editor's note—For further guidance on achieving or applying the above outcomes, refer to the 'State Planning Policy - state interest guidance material: Strategic airports and aviation facilities', available at <a href="https://dilgpprd.blob.core.windows.net/general/spp-strategic-airports-and-aviation-facilities-july-2017.pdf">https://dilgpprd.blob.core.windows.net/general/spp-strategic-airports-and-aviation-facilities-july-2017.pdf</a>.</p>			

# Blackall – Tambo Region Planning Scheme

## Township Code - Planning Scheme Section 5.2.1.3

<b>What we want to achieve</b> (Performance Outcomes)	<b>One way to achieve it</b> (Acceptable Outcomes)	<b>Code Response</b>
<b>For assessable development</b>		
<b>PO1</b> Hotel, rooming accommodation, relocatable home park and short-term accommodation uses are provided in a location where: <ul style="list-style-type: none"> <li>(a) it can be serviced with infrastructure</li> <li>(b) is complementary to the existing character of the area;</li> <li>(c) does not have an adverse impact on residential amenity in terms of privacy, safety, noise, odour and fumes, lighting and traffic generation;</li> <li>(d) does not lead to a reduced quality of accommodation experiences available within the location.</li> </ul>		N/A.
<b>PO2</b> The industrial precinct and existing industrial land uses are protected from encroachment by incompatible land uses.		The proposed industrial activity is a compatible use within the industrial precinct.
<b>PO3</b> Uses are compatible with, and complementary to, the existing residential uses.		The proposed development is appropriately located in the industrial precinct.
<b>PO4</b> Where adjoining a residential use, non-residential uses are located and designed to avoid impacts on existing levels of residential amenity including privacy, safety, noise, odour and fumes, lighting and traffic generation.	<b>AO4.1</b> Commercial uses are located in the commercial precinct and industrial uses are located in the industrial precinct.	N/A.

	<p><b>AO4.2</b> Non-residential uses do not overlook the living areas of any adjoining residential use.</p>	
<p><b>PO5</b> Dual Occupancy is located on appropriately sized lots to avoid impacts on residential amenity and safety.</p>	<p><b>AO5</b> Dual Occupancy are located on a site with an area of at least:</p> <p>(a) 2000m<sup>2</sup> where not connected to reticulated sewerage network; or (b) 800m<sup>2</sup> where connection is available to reticulated sewerage network.</p>	N/A.
<p><b>PO6</b> Multiple dwellings, residential care facilities, retirement facilities and rooming accommodation are of a scale, density and character that is complementary and compatible with the surrounding residential area.</p>	<p><b>AO6.1</b> Multiple dwellings are located on lots with a minimum area of 1000m<sup>2</sup>.</p> <p><b>AO6.2</b> The number of dwellings contained in a multiple dwelling and/or retirement facility is calculated as follows:</p> <p>(a) one bedroom units per 350m<sup>2</sup> of site area; and (b) units comprising more than one bedroom per 400m<sup>2</sup> of site area.</p>	N/A.



<p><b>PO7</b>  Low impact industry use involving commercial-use chiller box/es for the storage of animal carcasses (for example, associated with macropod harvesting):</p> <ul style="list-style-type: none"> <li>(a) does not have an adverse impact on surrounding residential or accommodation uses in terms of amenity, noise, odour and fumes, lighting and traffic generation; and</li> <li>(b) are serviced by reliable electricity and water required for the use; and</li> <li>(c) are designed and installed/constructed so that the chiller box/es may be readily unsecured and removed from the site, if necessary to protected public health and safety in response to an incident.</li> </ul>		N/A.
<b>For assessable development in the Commercial precinct</b>		
<p><b>PO8</b>  Hours of operation are consistent with maintaining a reasonable level of amenity for nearby land in a residential precinct.</p>	<p><b>AO8</b>  Hours of operation are limited to 6am to 10pm.</p>	N/A.
<p><b>PO9</b>  New buildings maintain and enhance the existing streetscape and relationship with adjoining buildings.</p>	<p><b>AO9.1</b>  Where adjoining an existing awning, a new awning connection is made at the same or very similar height to provide connectivity for weather protection.</p> <p><b>AO9.2</b>  A footpath is provided in accordance with Council's minimum standards for all development.</p>	N/A.

<p><b>PO10</b> Waste disposal and servicing areas are screened from public view and do not have adverse amenity impacts on adjoining properties.</p>		N/A.
<p><b>PO11</b> Development is designed and located so that adverse impacts on privacy and amenity on nearby residential uses are minimised.</p>	<p><b>AO11.1</b> Buildings are set back 2m from any boundary shared with a residential use, or half the height of that part of the building, whichever is the greater.</p> <p><b>AO11.2</b> A 1.8m high solid screen fence is provided along all boundaries shared with a residential use.</p> <p><b>AO11.3</b> Windows that have a direct view into an adjoining residential use are provided with fixed screening that is a maximum of 50% transparent to obscure views and maintain privacy for residents.</p>	N/A.
<p><b>PO12</b> New uses developed in the Commercial precinct do not detract from the precinct's predominant commercial nature.</p>		N/A.
<p><b>For assessable development in the Industrial precinct</b></p>		
<p><b>PO13</b> Industrial development does not result in sensitive land uses located outside of the Industrial precinct being affected by industrial air, noise and odour emissions.</p>		Complies. The industrial activity is very low impact.
<p><b>PO14</b> Uses, other than Industrial uses are consistent with and make a positive contribution to the economy and character</p>		N/A. The proposed development is an industrial activity.

of the Industrial precinct, and do not detract from the Commercial precinct as being the primary location for commercial development.		
<b>PO15</b> Sensitive land uses (other than Caretaker's accommodation) are not established within the Industrial precinct.		N/A.
<b>PO16</b> Adverse impacts on the health, safety or amenity of nearby land in the Township zone or sensitive land uses are minimised.  Editor's note—Applicants should have regard to relevant legislative, industry and licensing requirements.	<b>AO16.1</b> Development achieves the noise generation levels set out in the <a href="#">Environmental Protection (Noise) Policy 2019</a> .  <b>AO16.2</b> Development achieves the air quality objectives set out in the <a href="#">Environmental Protection (Air) Policy 2019</a> .	Complies. The industrial activity is very low impact.
<b>PO17</b> Development does not compromise the viability of the primary use of the site.	<b>AO17</b> No more than one (1) caretaker's accommodation dwelling is established on the site.	Complies. The proposed development is solely for an industrial activity.
<b>For assessable development in the Mixed Use precinct</b>		
<b>PO18</b> Development does not have an adverse impact on residential amenity in terms of privacy, safety, noise, odour and fumes, lighting and traffic generation.		N/A. The site is located in the Industrial Precinct.
<b>PO19</b> Non-residential uses are compatible with and do not detract from the domestic scale, intensity, form and character of the precinct.	<b>AO19.1</b> New buildings and structures comply with the building heights stated in A04 of the General Development Code.  <b>AO19.2</b>	N/A. The site is located in the Industrial Precinct.

	The scale of ancillary buildings comply with AO8 of the General Development Code.	
<b>PO20</b> For non-residential uses, hours of operation are consistent with maintaining a reasonable level of amenity for nearby residential uses and does not prejudice the future use of other and in the Mixed Use precinct for residential use.	<b>AO20</b> Hours of operation are limited to 7am to 6pm.	N/A. The site is located in the Industrial Precinct.
<b>PO21</b> Development does not compromise the viability of the primary use of the site.	<b>AO21</b> No more than one (1) caretaker's accommodation dwelling is established on the site.	N/A. The site is located in the Industrial Precinct.
<b>PO22</b> Waste disposal and servicing areas are screened from public view and do not have adverse amenity impacts on adjoining properties.		N/A. The site is located in the Industrial Precinct.



**State Code 6 Assessment**

Prepared by Murray & Associates (QLD) Pty Ltd

# State code 6: Protection of state transport networks

Relevant provisions of the code	Development
<b>Network Impacts</b>	
PO1 – PO10	All development
<b>Stormwater and drainage</b>	
PO11 – PO13	All development
<b>Planned upgrades</b>	
PO14	All development
<b>Provision of public passenger transport infrastructure</b>	
PO15 – PO20	<b>Accommodation activities, airport, business activities, club, educational establishment, function facility, hospital, hotel, major sport, recreation and entertainment facility, residential care facility, shop, shopping centre, short-term accommodation, theatre and tourist attraction</b>
PO21 – PO22	Airport, <b>club, function facility, hospital, hotel, major sport, recreation and entertainment facility, residential care facility, shop, shopping centre, short-term</b>

**Table 6.2.2: All development**

Performance outcomes	Acceptable outcomes	Response
<b>Network impacts</b>		
<p><b>PO1</b> Development does not result in a worsening of the safety of a <b>state-controlled road</b>.</p> <p>Note: To demonstrate compliance with this performance outcome, it is recommended that a Registered Professional Engineer of Queensland (RPEQ) certified road safety audit or road safety assessment (as applicable) is provided.</p> <p>Further information on determining whether a road safety audit or road safety assessment is required will be provided in the forthcoming document Guide to Traffic Impact Assessment, Department of Transport and Main Roads, 2017.</p>	No acceptable outcome is prescribed.	<p>Complies.</p> <p>The proposed low-trip generating use will place no adverse effects on the surrounding traffic network, including the state-controlled Dawson Developmental Road.</p> <p>The proposed development fronts onto Davidson Road (locally controlled), then gains access to Cemetery Road (locally controlled), and then gains access to Dawson Developmental Road (state-controlled).</p>
<p><b>PO2</b> Development does not result in a worsening of the infrastructure condition of a <b>state-controlled road</b> or <b>road transport infrastructure</b>.</p> <p>Note: To demonstrate compliance with this performance outcome, it is recommended that a RPEQ certified traffic impact assessment and pavement impact assessment are provided. Further information will be provided in the forthcoming document Guide to Traffic Impact Assessment, Department of Transport and Main Roads, 2017.</p>	No acceptable outcome is prescribed.	<p>Complies.</p> <p>The proposed use is low-trip generating and will have no adverse effects on the condition of the state-controlled Dawson Developmental Road.</p> <p>A traffic assessment undertaken by an RPEQ is not necessary for a development of this size and nature (three [3] employees, operating during business hours on weekdays). Only three (3) prime-movers will be operating from the site.</p>
<p><b>PO3</b> Development does not result in a worsening of operating conditions on a <b>state-controlled road</b> or the surrounding road network.</p> <p>Note: To demonstrate compliance with this performance outcome, it is recommended that an RPEQ certified traffic impact assessment is provided. Further information will be provided in the forthcoming document Guide to Traffic Impact Assessment, Department of Transport and Main Roads, 2017.</p>	No acceptable outcome is prescribed.	<p>Complies.</p> <p>See above response with PO3.</p>
<p><b>PO4</b> Development does not impose traffic loadings on a <b>state-controlled road</b> which could be accommodated on the <b>local road</b> network.</p>	<b>AO4.1</b> The layout and design of the development direct traffic generated by the development to the <b>local road</b> network.	<p>Complies.</p> <p>Access is afforded to Davidson Road (locally controlled) and not directly onto Dawson Developmental Road (state-controlled).</p>
<p><b>PO5</b> Upgrade works on, or associated with, a <b>state-controlled road</b> are built in accordance with relevant design standards.</p>	<b>AO5.1</b> Upgrade works on a <b>state-controlled road</b> are designed and constructed in accordance with the Road Planning and Design Manual, 2 <sup>nd</sup> edition, Department of Transport and Main Roads, 2016.	No upgrades within a state-controlled road are proposed.

<p><b>PO6</b> Development involving the haulage of fill, extracted material or excavated spoil material exceeding 10,000 tonnes per year does not damage the pavement of a <b>state-controlled road</b>.</p> <p>Note: It is recommended that a transport infrastructure impact assessment and pavement impact assessment are provided. Further information will be provided in the forthcoming document Guide to Traffic Impact Assessment, Department of Transport and Main Roads, 2017</p>	<p><b>A06.1</b> Fill, extracted material and spoil material is not transported to or from the development site on a <b>state-controlled road</b>.</p>	<p>Not applicable.</p> <p>The proposed development will haul livestock and as such, will not transport an amount of spoil material exceeding 10,000 tonnes per year.</p> <p>No livestock will return to the yard. All livestock associated with the transport depot will be moved to the desired destination before trucks are to return to the depot.</p>
<p><b>PO7</b> Development does not adversely impact on the safety of a <b>railway crossing</b>.</p> <p>Note: It is recommended that a traffic impact assessment be prepared to demonstrate compliance with this performance outcome. An impact on a level crossing may require an Australian Level Crossing Assessment Model (ALCAM) assessment to be undertaken. Section 2.2 – Railway crossing safety of the Guide to Development in a Transport Environment: Rail, Department of Transport and Main Roads, 2015, provides guidance on how to comply with this performance outcome.</p>	<p><b>A07.1</b> Development does not require a new <b>railway crossing</b>.</p> <p>OR</p> <p><b>A07.2</b> A new <b>railway crossing</b> is grade separated.</p> <p>OR all of the following acceptable outcomes apply:</p> <p><b>A07.3</b> Upgrades to a level crossing are designed and constructed in accordance with AS1742.7 – Manual of uniform traffic control devices, Part 7: Railway crossings and</p>	<p>Not applicable.</p> <p>No railway crossing in vicinity.</p> <p>The proposed development does not involve integration with the railway network.</p>



Performance outcomes	Acceptable outcomes	Response
	<p>applicable rail manager standard drawings.</p> <p>Note: It is recommended a traffic impact assessment be prepared to demonstrate compliance with this acceptable outcome. An impact on a level crossing may require an Australian Level Crossing Assessment Model (ALCAM) assessment to be undertaken.</p> <p>Section 2.2 – Railway crossing safety of the Guide to Development in a Transport Environment: Rail, Department of Transport and Main Roads, 2015, provides guidance on how to comply with this acceptable outcome</p> <p>AND</p> <p><b>A07.4</b> Access points achieve sufficient clearance from a level crossing in accordance with AS1742.7 – Manual of uniform traffic control devices, Part 7: Railway crossings by providing a minimum clearance of 5 metres from the edge running rail (outer rail) plus the length of the largest vehicle anticipated on-site.</p> <p>Note: Section 2.2 of the Guide to Development in a Transport Environment: Rail, Department of Transport and Main Roads, 2015, provides guidance on how to comply with this acceptable outcome.</p> <p>AND</p> <p><b>A07.5</b> On-site vehicle circulation is designed to give priority to entering vehicles at all times.</p>	
<p><b>PO8</b> Development does not result in a worsening of the infrastructure condition of a <b>railway or rail transport infrastructure</b>.</p>	<p>No acceptable outcome is prescribed.</p>	<p>Not applicable.</p> <p>No railway in vicinity.</p> <p>The proposed development does not involve integration with the railway network.</p>
<p><b>PO9</b> Development does not result in a worsening of operating conditions of a <b>railway</b></p>	<p>No acceptable outcome is prescribed.</p>	<p>Not applicable.</p> <p>No railway in vicinity.</p> <p>The proposed development does not involve integration with the railway network.</p>

<p><b>PO10</b> Development does not damage or interfere with <b>public passenger transport infrastructure, public passenger services</b> or pedestrian or cycle access to <b>public passenger transport infrastructure</b> and <b>public passenger services</b>.</p>	<p><b>AO10.1</b> Vehicular access and associated road access works are not located within 5 metres of <b>public passenger transport infrastructure</b>.</p> <p>AND</p> <p><b>AO10.2</b> Development does not necessitate the relocation of existing <b>public passenger transport infrastructure</b>.</p> <p>AND</p> <p><b>AO10.3</b> Development does not obstruct pedestrian or cyclist access to <b>public passenger transport infrastructure</b> or <b>public passenger services</b>.</p> <p>AND</p> <p><b>AO10.4</b> The normal operation of <b>public passenger transport infrastructure</b> or <b>public passenger services</b> is not interrupted during construction of the development.</p>	<p>Not applicable.</p> <p>No public transport infrastructure in vicinity, nor is any proposed.</p>
<p><b>Stormwater and drainage</b></p>		
<p><b>PO11</b> Development does not result in an <b>actionable nuisance</b>, or worsening of, stormwater, flooding or drainage impacts in a <b>state transport corridor</b>.</p>	<p>No acceptable outcome is prescribed.</p>	<p>Complies.</p> <p>As it currently does, stormwater is to dissipate via overland flow toward the frontage (Davidson Road) of the property without causing any adverse effects to the surrounding lots.</p>
<p><b>PO12</b> Run-off from the development site is not unlawfully discharged to a <b>state transport corridor</b>.</p>	<p><b>AO12.1</b> Development does not create any new points of discharge to a <b>state transport corridor</b>.</p> <p>AND</p> <p><b>AO12.2</b> Stormwater run-off is discharged to a <b>lawful point of discharge</b>.</p> <p>Note: Section 3.4 of the Queensland Urban Drainage Manual,</p>	<p>Complies.</p> <p>The proposed development does not divert stormwater toward the state-controlled road at the east of the subject site. Stormwater is to discharge west, at Davidson Road (locally controlled).</p>

Performance outcomes	Acceptable outcomes	Response
	<p>Department of Energy and Water Supply, 2013, provides further information on <b>lawful points of discharge</b>.</p> <p>AND</p> <p><b>AO12.3</b> Development does not worsen the condition of an existing <b>lawful point of discharge to a state transport corridor</b>.</p>	
<p><b>PO13</b> Run-off from the development site does not cause siltation of stormwater infrastructure affecting a <b>state transport corridor</b>.</p>	<p><b>AO13.1</b> Run-off from the development site is not discharged to stormwater infrastructure for a <b>state transport corridor</b>.</p>	<p>Complies.</p> <p>See above response to PO12.</p>
<b>Planned upgrades</b>		
<p><b>PO14</b> Development does not impede delivery of <b>planned upgrades of state transport infrastructure</b>.</p>	<p><b>AO14.1</b> Development is not located on land identified by the Department of Transport and Main Roads as land required for the <b>planned upgrade of state transport infrastructure</b>.</p> <p>Note: Land required for the <b>planned upgrade of state transport infrastructure</b> is identified in the <b>DA mapping system</b>.</p> <p>OR</p> <p><b>AO14.2</b> Development is sited and designed so that permanent buildings, structures, infrastructure, services or utilities are not located on land identified by the Department of Transport and Main Roads as land required for the <b>planned upgrade of state transport infrastructure</b>.</p> <p>OR all of the following acceptable outcomes apply:</p> <p><b>AO14.3</b> Structures and infrastructure located on land identified by the Department of Transport and Main Roads as land required for the <b>planned upgrade of state transport infrastructure</b> are able to be readily relocated or removed without materially affecting the viability or functionality of the development.</p> <p>AND</p> <p><b>AO14.4</b> Vehicular access for the development is consistent with the function and design of the <b>planned upgrade of state transport infrastructure</b>.</p> <p>AND</p> <p><b>AO14.5</b> Development does not involve filling and excavation of, or material changes to, land required for a <b>planned upgrade to a state transport infrastructure</b>.</p> <p>AND</p>	<p>Complies.</p> <p>The construction of the proposed development will in no way hinder any planned upgrades to Dawson Developmental Road in the future.</p> <p>The development has frontage to Davidson Road (locally controlled).</p> <p>The proposal does not propose any structures or infrastructure within state-controlled land.</p> <p>No vehicular access is afforded from the nearby state-controlled road.</p> <p>No filling or excavation proposed.</p>

	<p><b>AO14.6</b> Land is able to be reinstated to the pre-development condition at the completion of the use.</p>	<p>The subject site is able to be restored to its' pre-development condition if that is ever desired.</p>
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**Note:**

The remainder of POs are not relevant to the proposed development and therefore, were not assessed against. No changes to state infrastructure are proposed, nor are any public transport services using the state infrastructure in question (Dawson Developmental Road).